

From: Lynne Cairns
Sent: Thu, 25 Mar 2021 13:51:00 +1100
To: Council Email
Cc: 'spowelly POWELL'
Subject: Third Email: SUBMISSION MOD2021/0016 AND DA2021/0153
Attachments: Attachment 11 ECM_2040409_v1_DA2019 0439 - 19 GUMNUT ROAD - Engineering.pdf, Attachment 12 ECM_2043020_v1_DA2019 0439 - Flood Certification - 206 Gumnut Road Yamba....pdf, Attachment 13 ECM_2043392_v3_CC2019 0377 - Construction Certificate - 19 Gumnut Road Y....pdf, Attachment 14 ECM_2058702_v1_DA2019 0439 Notice of Commencement of Works 19 Gumnut Roa....pdf, Attachment 15 ECM_2154601_v1_CC2019 0377 Frame Inspection.pdf, Attachment 16 MOD2021 0016 Notification plans 19 Gumnut Road YAMBA NSW 2464.pdf, Attachment 17 DA2021 0153 Notification Plan 19 Gumnut Road YAMBA NSW 2464.pdf








Mr Ashley Lindsay
General Manager
Clarence Valley Council

RE: SUBMISSION – MOD2021/0016 AND DA2021/0153 – Third and last Email

Third and last email.

Please inform that this email has been received and all attachments can be opened.

Please the attachments as listed below:

-  Attachment 11 ECM_2040409_v1_DA2019 0439 - 19 GUMNUT ROAD - Engineering.pdf
-  Attachment 12 ECM_2043020_v1_DA2019 0439 - Flood Certification - 206 Gumnut Road Yamba....pdf
-  Attachment 13 ECM_2043392_v3_CC2019 0377 - Construction Certificate - 19 Gumnut Road Y....pdf
-  Attachment 14 ECM_2058702_v1_DA2019 0439 Notice of Commencement of Works 19 Gumnut Roa....pdf
-  Attachment 15 ECM_2154601_v1_CC2019 0377 Frame Inspection.pdf
-  Attachment 16 MOD2021 0016 Notification plans 19 Gumnut Road YAMBA NSW 2464.pdf
-  Attachment 17 DA2021 0153 Notification Plan 19 Gumnut Road YAMBA NSW 2464.pdf

Shane Powell
Lynne and Bob Cairns

From: Mark mousley
Sent: Tue, 25 Feb 2020 10:59:21 +1000
To: Council Email
Subject: DA2019/0439 - 19 GUMNUT ROAD - Engineering
Attachments: image003.jpg, image003.jpg, CS0216_SITE.pdf, CS0216-1.pdf, 302640.pdf, CS0216-0-Cert. of comp.pdf

Hi again Scott!
And the engineering
Cheers
Mark Mousley

----- Forwarded message -----

From: <b.inman@nrsce.com.au>
Date: Fri, 10 Jan. 2020, 13:03
Subject: 19 GUMNUT ROAD - Engineering
To: <mousley601@gmail.com>

Please find attached

Call if any questions

Cheers

Brady Inman, ENGINEER



Yamba Office

Unit 7-11, 18 Coldstream Street, Yamba NSW 2464

Tel: 0437 904 790

Byron Bay Office

5/61 Centennial Circuit, Byron Bay 2481

PH: (02) 6680 7510

Web: www.NRSCE.com.au







GEOTECHNICAL REPORT FOR CLARENCE VALLEY COUNCIL
STANDARD SECTION

DATE OF REPORT: *10-Jan-20*
DATE OF INVESTIGATION: *10-Jan-20*

The General Manager,
Clarence Valley Council,
Locked Bag 23,
GRAFTON. 2460.

JOB: CS0216

Dear Sir,

PROPOSED DEVELOPMENT AT 19 GUMNUT ROAD, YAMBA NSW,
FOR KRYSY & TODD CAMPBELL

The following is a Geotechnical Report for your Council’s requirements.
Objective of investigation: To determine suitable foundations for the building proposed.

METHODS: Investigation is to AS1726 (1993) and AS2870 (2011) Standards.

- 1. Site observations of the site itself and surroundings. **X**
- 2. Observations of cutting where available near site. **X**
- 3. Hand probing where possible. **X**
- 4. Scala penetrometer testing. **X**
- 5. Examination of material through a magnifying glass. **X**
- 6. Borehole excavation with hand equipment (auger). _____
- 7. Excavation by other means as follows: _____
- 8. Other tests: _____
- 9a. Field work by ***BRADY INMAN BEng (Civil) Structerre CJA Pty. Ltd.***

LOCATION OF SITE:

PER SITE PLAN

I HEREBY CERTIFY THIS SITE IS
NOT SUBJECT TO SLIP OR
SUBSIDENCE **X**

GEOLOGY: (If applicable)

Parent Age

QUARTANARY

Volcanic

Sedimentary

Old Slip

Metamorphic

Dip and Strike if Visible _____

Slippages: Relevant

Not Relevant

Comments Including Topography (if relevant)

Some Loose sands. Requires pad footing to be tamped firm, and vibrating plate compaction under slab

CONCRETE: 25 MPA

WIND: N3

SOIL PROFILE: Including relevance of plasticity, consistency and potential for volume change.

TYPICAL - NATURAL (VARIES):

000 - 1500 White Silty Sand

GROUND WATER:

NOT FOUND

DRAINAGE:

DRAINS SAFELY TO SURFACE

Well Drained:

X

MOISTURE CONTENT CHANGE:

Relevant:

NOT VERY

Likely:

NOT VERY

If both relevant and likely, see recommendations.

FIELD TEST RESULTS: Scala (our Scala is marked at 50 mm intervals).

00 - 1500 MAX. 75 / BLOW

TYP 50/BLOW

INCLINOMETER:

SEE CONTOURS

OTHER TESTS:

Samples removed for Lab. work _____ Are results attached _____
Each report should positively establish the "safe building site".

EXTRACT: CLASSIFICATION CLASSES (per AS2870 - 2011).

Site shall be classified on the basis of their expected maximum surface movements as follows:

NOTE: 'M' FOR TREE DISTANCE MIN 0.75 H PER C.S.I.R.O.

	<i>Characteristic surface movement (y_s) mm</i>		<i>Site classification in accordance with Table 2.1</i>
		Stable	A
<i>xx</i>	$0 < y_s \leq 20$	Slightly Reactive	S
	$20 < y_s \leq 40$	Moderately Reactive	M
	$40 < y_s \leq 60$	Highly Reactive	H1
	$60 < y_s \leq 75$	More Highly Reactive	H2
	$y_s > 75$	Extremely Reactive	E

XX = CLASS 'P' FOR EXISTING STRUCTURE & LOOSE SANDS

Approximately applied maximum bearing pressure indicated by building design.

50KPA

FOUNDATION:

Allowable bearing pressure in Kilopascals.

Made ground	0 – 300	
Soft clay or loam	100	
Confined wet sand. AFTER VIBRATING PLATE.	150	X
Medium clay or sandy clay	200	
Hard dry clay or dense sand	300	
Soft shale	400	
Weathered rock or medium shale	600	
Shale rock at 600 mm from the boundary	1,000	
Shale rock at the boundary	650	
Soft sandstone, free of defects to a depth of 450 mm and with a total seam thickness not exceeding 20 mm for the next 450 mm of depth, when the footing is 900 mm or more from the boundary.	1,300	
Soft sandstone, free of defects to a depth of 450 mm and with a total seam thickness not exceeding 20 mm for the next 450 mm of depth, where the footing is 900 mm or more from the boundary	850	
Other forms of rock	1,400 – 8,500	

RECOMMENDATIONS:

Foundations per signed plan attached should be adopted.

Additional comment (if any)

TAMP FIRM PIER HOLES***VIBRATING PLATE COMPACT UNDER SLAB***

Further investigation and/or checks required.

a: Council normal inspection only

b: Special further investigation, reasons, etc., (if required)

TAMP FIRM PIER HOLES***VIBRATING PLATE COMPACT UNDER SLAB***PRACTICAL FURTHER COMMENTS: (if required)***TAMP FIRM PIER HOLES******VIBRATING PLATE COMPACT UNDER SLAB*****IMPORTANT NOTE:**

THIS REPORT, PARTICULARLY SITE CLASSIFICATION IS FOR NRS CONSULTING ENGINEERS TO USE IN DESIGN. ANY DESIGN BY ANYONE ELSE FOR ANY STRUCTURE MUST BE SPECIALLY APPROVED BY NRS CONSULTING ENGINEERS.


B. INMAN.....
 BRADY INMAN
NRS CONSULTING ENGINEERS





KRYSY & TODD CAMPBELL

PROPOSED DEVELOPMENT AT
 LOT 206 GUMNUT ROAD
 YAMBA, NSW 2460

INDEX TO SHEETS	
SHEET	TITLE
S-000	COVER SHEET & DRAWING LIST
S-001	GENERAL NOTES - SHEET 1
S-002	GENERAL NOTES - SHEET 2
S-003	SAFETY IN DESIGN
S-101	FOOTING & SLAB PLAN
S-102	FOOTING & SLAB DETAILS - SHEET 1
S-103	FOOTING & SLAB DETAILS - SHEET 2
S-104	FOOTING & SLAB DETAILS - SHEET 3
S-105	SURFACE DRAINAGE DETAILS
S-106	PLUMBING CONNECTION DETAILS
S-107	WIND BRACING PLAN
S-108	BRACING & TIE-DOWN DETAILS

IMPORTANT NOTE:

IT IS THE RESPONSIBILITY OF THE CLIENT IN CONSULTATION WITH THEIR BUILDER TO CHECK AND VERIFY THE BUILDABILITY OF THE DESIGN AS PRESENTED AND REFER ANY CONCERNS BACK TO THE ENGINEER PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.

IT IS ASSUMED THAT THE USER OF THESE DETAILS HAS A LEVEL OF FAMILIARITY AND COMPETENCY TO UNDERSTAND AND EXECUTE THE WORKS.

AT ALL TIMES COMMON SENSE IS TO BE USED. IF EVER IN DOUBT, ASK!

TITLE	NAME	DATE	PROJECT		
DRAFTER	HBL	10/12/19	PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460		
DESIGNER	HBL	10/12/19			
ENG. CHECK	BI	10/12/19			
SCALE	1:1	SIZE A3			
APPROVED BY:					
0	HBL	10/12/19	ISSUED FOR CONSTRUCTION	BI	BI
REV	BY	DATE	ISSUE / REVISION DESCRIPTION	CHK	APP

CLIENT	KRYSY & TODD CAMPBELL
--------	-----------------------

Structerre CJA Pty. Ltd. (ABN: 63 619 141 310)
 82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12
 TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrsc.com.au

STRUCTERRE JOB No.	CS0216	DRAWING REF. No.	CS0216-S-000
CLIENT REFERENCE No.	JW301	REV	0

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GENERAL NOTES:

- G.1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.

SITE CLASSIFICATION NOTES:

- C.1. THIS DESIGN HAS BEEN BASED UPON INFORMATION PROVIDED TO OUR OFFICE &/OR GATHERED BY OUR STAFF.
C.2. THIS DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH AS 2870 & RELEVANT STATE LEGISLATION.

MISCELLANEOUS NOTES:

- M.1. WHERE TERMITE PROTECTION IS REQUIRED, INSTALL IN ACCORDANCE WITH AS3660. BUILDER SHALL CONFIRM WITH OWNER THE PREFERRED METHOD OF TERMITE MANAGEMENT.

DRAINAGE NOTES:

- D.1. ALL WORKMANSHIP & MATERIAL SHALL BE IN ACCORDANCE WITH AS2870.
D.2. DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT & FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1.0m.

PROPERTY MAINTENANCE NOTES:

- P.1. THIS DESIGN IS BASED UPON THE NORMAL FOOTING PERFORMANCE CRITERIA PROVIDED IN TABLE 2.2 OF AS2870-2011 WITH DAMAGE CATEGORIES DETAILED IN APPENDIX C.

http://www.publish.csiro.au/pid/7076.htm. THIS REPORT MAY BE RENDERED INVALID IF THE PROPERTY IS NOT MAINTAINED AS RECOMMENDED IN THIS PUBLICATION.

- P.5. THE LONG TERM PERFORMANCE OF THE FOOTINGS AS DESIGNED IS DEPENDANT ON THE ONGOING SITE MAINTENANCE BY OWNER INCLUDING FACTORS SUCH AS SITE DRAINAGE, VEGETATION & WATERING OF AREAS ADJACENT TO THE DWELLING.

SUMMARY OF AS2870-2011 - APPENDIX C TABLES C1 & C2
Table with 4 columns: DAMAGE CATEGORIES, WALL CRACKS, SLAB CRACKS, LEVEL CHANGES OVER 3m

FOUNDATIONS & FOOTINGS:

- F.1. FOOTINGS SHALL BE PLACED CENTRALLY UNDER WALLS & COLUMNS UNLESS OTHERWISE NOTED.
F.2. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS 2870 & NATIONAL CONSTRUCTION CODE (N.C.C.)

THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL & TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.

- F.5. TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
F.6. IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES (FOR CLAY & 30 DEGREES FOR SAND) FROM ITS BASE INTERSECTS A PRIVATE SERVICE TRENCH, THEN PIERS ARE REQUIRED.

ARTICULATED MASONRY NOTES:

- A.1. THIS DESIGN ASSUMES THAT MASONRY ARTICULATION JOINTS WILL BE INSTALLED TO AS 4773 UNLESS NOTED OTHERWISE. ANY MASONRY ARTICULATION JOINTS SHALL BE POSITIONED IN ACCORDANCE WITH AS 4773 & AS 3700 SECTION 12.16.4 AND AS FOLLOWS;
A.1.1. MAXIMUM JOINT SPACING = 5.0m U.N.O.

MAX SPACING OF ARTICULATION JOINTS TO AS 4773 (UNREINFORCED MASONRY) U.N.O

Table with 4 columns: SITE CLASS, CONSTRUCTION & SURFACE FINISH, 10mm JOINT SPACING (m) -> 4m TO 8.5m, 4m TO 8.5m

- NOTES:
1. THE SITE CLASS REFERS TO THE SOIL CLASSIFICATION AS DEFINED IN AS 2870
2. JOINTS ON CLASS E, E-D & P SITES, REFER TO ENGINEER FOR ADVICE
3. IF 15mm JOINTS ARE TO BE USED, SPACINGS MAY BE RELAXED AS PER AS 4773

Table with 4 columns: TITLE, NAME, DATE, APPROVED BY. Includes signature of B. INMAN and revision table.

PROJECT: PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460
GENERAL NOTES - SHEET 1
CLIENT: KRYSY & TODD CAMPBELL

NORTHERN RIVERS STRUCterre consulting engineers
Structerre CJA Pty. Ltd. (ABN: 63 619 141 310)
82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12
TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrscce.com.au

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GENERAL SAFETY NOTES:

IT IS THE CLIENT'S RESPONSIBILITY TO PROVIDE THIS 'SAFETY IN DESIGN REPORT' TO THE BUILDER (OR PROJECT MANAGER OR PRINCIPLE CONTRACTOR) IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT AND REGULATIONS 2011, BELOW IS THE LIST OF POTENTIAL CONSTRUCTION HAZARDS ASSOCIATED WITH IMPLEMENTING THE DESIGN IS DOCUMENTED.

HEALTH HAZARDS:

- H.1. MANUAL MATERIAL HANDLING:
THE BUILDER IS TO ENSURE THE COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25 KG ARE LIFTED BY TWO OR MORE WORKERS OR USE MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.
- H.2. HAZARDOUS SUBSTANCES: THE BUILDER IS TO ENSURE DANGEROUS SITE MATERIALS INCLUDING CONTAMINATED SOILS AND ASBESTOS ARE ADEQUATELY TREATED AND DISPOSED IN ACCORDANCE WITH AUTHORITY REGULATIONS, INDUSTRY STANDARDS & PRACTICES.

SAFETY HAZARDS:

- SH.1. SLIPS, TRIPS AND FALLS:
THE BUILDER IS TO ENSURE THE WALKING AND WORKING SURFACES ARE CLEAR AND FREE OF DEBRIS, PROVIDE SAFE ACCESS IN AND AROUND THE BUILDING SITE INCLUDING ADEQUATE STAIRS, SCAFFOLDING, SECURE LADDER ACCESS, SAFE WORKING PLATFORMS, ACCESS PATHS FREE FROM FALLING OBJECTS, ADEQUATE RAILINGS, FALL ARREST SYSTEMS, ETC.
- SH.2. MATERIAL HANDLING
IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT SITE MATERIALS ARE DELIVERED, TRANSPORTED, STORED AND POSITIONED IN A SAFE MANNER AND IN ACCORDANCE WITH THE PRODUCT SPECIFICATION, THE SITE SPECIFIC SAFETY PLAN & GENERAL SAFETY INDUCTION REGULATIONS. AT NO STAGE SHALL SITE PERSONNEL PASS UNDER MATERIALS BEING LIFTED AND MOVED AROUND ON SITE.
- SH.3. EQUIPMENT
IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION EQUIPMENT IS USED IN ACCORDANCE WITH THE BEST INDUSTRY SAFETY PRACTICES AND REGULATIONS. ALL SITE PERSONNEL ARE TO BE PROVIDED WITH ADEQUATE SPACE, VENTILATION AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT TO UNDERTAKE THE WORKS AS REQUIRED. ALL SITE MACHINERY AND ELECTRICAL EQUIPMENT ARE TO BE KEPT IN GOOD WORKING ORDER WITH SAFETY TAGGING AND SERVICING WHERE APPLICABLE.
- SH.4. FORMWORK & SCAFFOLDING
CLIMBING ON SCAFFOLDING OR FORMWORK AND WORKING AT HEIGHTS WITHOUT SUITABLY APPROVED RAILINGS, BARRIERS AND RESTRAINTS FIXED TO UNCERTIFIED ANCHOR POINTS IS STRICTLY PROHIBITED. ALL FORMWORK AND SCAFFOLDING SYSTEMS ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED CONTRACTOR TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND KEPT MAINTAINED IN GOOD WORKING ORDER.
- SH.5. EXCAVATION
THE BUILDER SHALL PROVIDE SUITABLE FENCING AROUND ALL EXCAVATIONS AND AT NO STAGE SHOULD AN EXCAVATION BE APPROACHED OR ENTERED INTO UNLESS AN APPROVED AND CERTIFIED SHORING SYSTEM HAS BEEN INSTALLED OR THE BANKS HAVE BEEN BATTERED AND/OR BENCHED IN ACCORDANCE WITH THE PROJECTS GEOTECHNICAL ENGINEERING SPECIFICATION AND/OR WRITTEN INSTRUCTIONS BY THE INSPECTING GEOTECHNICAL ENGINEER. THE BUILDER SHALL SUPPORT OR PROP ANY EXISTING STRUCTURES WITHIN THE ZONE OF INFLUENCE OF ALL EXCAVATIONS AND IS RESPONSIBLE FOR MAINTAINING THIS SUPPORT THROUGH THE CONSTRUCTION PROCESS.

SH.6. SITE HAZARDS & RISKS

IT IS THE CLIENT'S AND THE BUILDER'S RESPONSIBILITY TO MAKE THE DESIGNER AWARE OF ANY INFORMATION RELATING TO HAZARDS AND RISKS WHERE CONSTRUCTION WORK IS CARRIED OUT, INCLUDING BUT NOT LIMITED TO THE LOCATION OF UNDER GROUND AND ABOVE GROUND SERVICES, IDENTIFICATION OF CONTAMINATED SOILS AND OTHER MATERIALS OR THE PRESENCE OF DANGEROUS MATERIAL INCLUDING ASBESTOS. DURING THE CONSTRUCTION, THE BUILDER SHALL PROTECT NEIGHBOURING PROPERTIES FROM NOISE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS, RADIATION, GROUND VIBRATIONS AND OTHER CONSTRUCTION HAZARDS. CONDITION REPORTS ON THE NEIGHBOURING PROPERTIES AND STRUCTURES ARE RECOMMENDED PRIOR TO CONSTRUCTION.

SH.7. BOUNDARY & SERVICES

THE BUILDER IS REQUIRED TO VERIFY AND IF NECESSARY CONDUCT FURTHER SEARCHES TO ACCURATELY LOCATE EASEMENTS, UNDER GROUND AND ABOVE GROUND SERVICES, PROPERTY BOUNDARIES, TREES, EXISTING STRUCTURES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. THE DESIGNER IS TO BE IMMEDIATELY NOTIFIED OF ANY ELEMENTS NOT SHOWN ON THE APPROVED DRAWINGS AS THE DESIGN AND SAFETY IN DESIGN REPORT MAY REQUIRE AMENDING.

SH.8. TRAINED AND QUALIFIED WORKERS

THE BUILDER IS REQUIRED TO ENSURE THAT THE SITE WORKERS ARE SUITABLY QUALIFIED, TRAINED AND INSURED FOR THE TASKS BEING PERFORMED ON SITE.

SH.9. SITE MAINTENANCE

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE SITE IS MAINTAINED IN A SAFE WORKING MANNER AND THAT ALL SITE PRACTICES ARE IN ACCORDANCE WITH THE CURRENT WORK PLACE HEALTH AND SAFETY LAWS AND REGULATIONS.

PROCEDURE OR TASK DEVIATIONS:

- PT.1. ONSITE VARIATIONS
IT IS THE BUILDER'S RESPONSIBILITY TO STRICTLY BUILD IN ACCORDANCE WITH THE DOCUMENTATION AND NOT TO MAKE ANY VARIATIONS TO THE CONSTRUCTION WITHOUT THE SPECIFIC WRITTEN APPROVAL FROM THE ENGINEER.
- PT.2. COMPLIANCE INSPECTIONS
THIS DESIGN HAS BEEN DOCUMENTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, LOCAL AUTHORITY REGULATIONS AND STANDARD BUILDING CODES OF PRACTICE UNLESS NOTED OTHERWISE. EACH LEVEL OF CONSTRUCTION IS TO BE STRUCTURALLY COMPLETED AND INSPECTED TO ENSURE DESIGN COMPLIANCE BY CERTIFYING AUTHORITY PRIOR TO ADVANCING TO NEXT STAGE OF WORK. THE BUILDER SHOULD ENSURE THAT THE WORKS ARE PROGRAMMED IN A SAFE MANNER AND TO HIGHLIGHT TO THE DESIGNER ANY ASPECTS OF THE WORK THAT MAY REQUIRE FURTHER CLARIFICATION OR ADVICE WITH REGARD TO THE HEALTH AND THE SAFETY OF THE PROJECT.
- PT.3. TEMPORARY SUPPORT & BRACING
ALL ASPECTS DETAILED IN THE STRUCTURAL DOCUMENTS ARE THOSE REQUIRED FOR THE COMPLETED STRUCTURE ONLY. THE BUILDER IS RESPONSIBLE FOR PROVIDING ANY NECESSARY TEMPORARY CONNECTIONS AS WELL AS SUPPORTS AND BRACING TO MAINTAIN THE STABILITY AND SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD. THIS INCLUDES ELEMENTS SUCH AS PREFABRICATED TIMBER AND STEEL ELEMENTS, UNRESTRAINED WALLS, CONCRETE COLUMNS, BEAMS & SLABS, PRECAST PANELS, ETC., WHICH REQUIRE TEMPORARY SUPPORT OR PROPPING TO PREVENT OVER STRESS, EXCESSIVE DEFORMATION OR INSTABILITY UNTIL THE FINAL STRUCTURAL SYSTEM IS COMPLETED. THE DESIGNER IS TO BE CONTACTED FOR FURTHER ADVICE IF REQUIRED.

PT.4. CO-ORDINATION

IF THESE DESIGN DRAWINGS ONLY DOCUMENT PART OF THE STRUCTURE, IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE ALL DESIGN DRAWINGS ARE CO-ORDINATED BETWEEN ALL CONSULTANTS. FOR EXAMPLE, CO-ORDINATION TO ENSURE APPROPRIATE SLAB THICKENINGS AND DETAILS FOR LOADBEARING AND BRACING WALL ELEMENTS, CAST IN FIXINGS ETC.

PT.5. CONSTRUCTION LOADS

IT IS BUILDER'S RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SPECIFIC LOADS THAT THE STRUCTURE MAY BE SUBJECT TO DURING CONSTRUCTION. NO ALLOWANCE HAS BEEN MADE FOR CONSTRUCTION LOADS INCLUDING STACKING OF MATERIAL ON DECKS, FLOORS OR ROOF PLATFORMS, LOADS IMPOSED DUE TO MACHINERY, LIFTING DEVICES, IMPACT/VIBRATION/CYCLIC LOADS ETC. UNLESS NOTED ON THE DRAWINGS NO STRUCTURAL ALLOWANCE HAS BEEN MADE FOR SPECIFIC LOADS ASSOCIATED WITH THE MAINTENANCE OF THE STRUCTURE. THE DESIGNER IS TO BE INFORMED OF ANY REQUIREMENTS NECESSARY TO EXTERNALLY SUPPORT THE PLATFORMS, SCAFFOLDS ETC., AS REQUIRED.

PT.6. INSPECTION CERTIFICATE FOR NON-STRUCTURAL ELEMENTS

ALL SUNDRY ELEMENTS OF THE STRUCTURE INCLUDING BUT NOT LIMITED TO CLADDING DESIGN AND FIXINGS, WINDOWS, BALUSTRADES, STAIRS, SUSPENDED CEILINGS, INTERNAL FIT-OUT ITEMS AND ALL OTHER ELEMENTS NOT DETAILED IN THE DESIGN DOCUMENTS MUST BE DESIGNED AND INSPECTED BY SUPPLIERS OR MANUFACTURERS.

PT.7. CHANGES TO CONTRACTUAL ARRANGEMENTS


IT IS THE CLIENT'S AND THE BUILDER'S RESPONSIBILITY TO INFORM THE DESIGNER OF ANY CHANGE TO CONTRACTUAL ARRANGEMENTS BETWEEN THE CLIENT AND THE BUILDER WHICH MAY IMPACT ON THE DESIGN AND SAFETY OF THE DESIGN. THE CONSTRUCTION IS TO BE FULLY CARRIED OUT IN ACCORDANCE WITH ALL DESIGN DRAWINGS & NOTES AS DOCUMENTED. IF THE CONSTRUCTION CEASES AT ANY STAGE, THE DESIGNER IS TO BE NOTIFIED TO PROVIDE ADVICE ON THE SAFETY OF COMPLETED CONSTRUCTION WORK AT THAT TIME.

PT.8. MATERIAL SPECIFICATION

ALL CONTRACTORS ARE REQUIRED TO COMPLY WITH MATERIAL PRODUCT SPECIFICATION AS PER THE DESIGN DOCUMENTATION, AND IF REQUIRED TO REPLACE A PRODUCT SHOULD GET A WRITTEN ALTERNATIVE RECOMMENDATION FROM THE DESIGNER.

REV	BY	DATE	ISSUE / REVISION DESCRIPTION	CHK	APP
0	HBL	10/12/19	ISSUED FOR CONSTRUCTION	BI	BI

TITLE	NAME	DATE
DRAFTER	HBL	10/12/19
DESIGNER	HBL	10/12/19
ENG. CHECK	BI	10/12/19
SCALE	-	SIZE A3

APPROVED BY: 
B. INMAN

PROJECT
PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

CLIENT
KRYSY & TODD CAMPBELL

SAFETY IN DESIGN

NORTHERN RIVERS
STRUCterre
consulting engineers

Structerre CJA Pty. Ltd. (ABN: 63 619 141 310)
82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12
TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrscce.com.au

STRUCTERRE JOB No. **CS0216** DRAWING REF. No. **CS0216-S-003**

CLIENT REFERENCE No. **JW301**

REV **0**

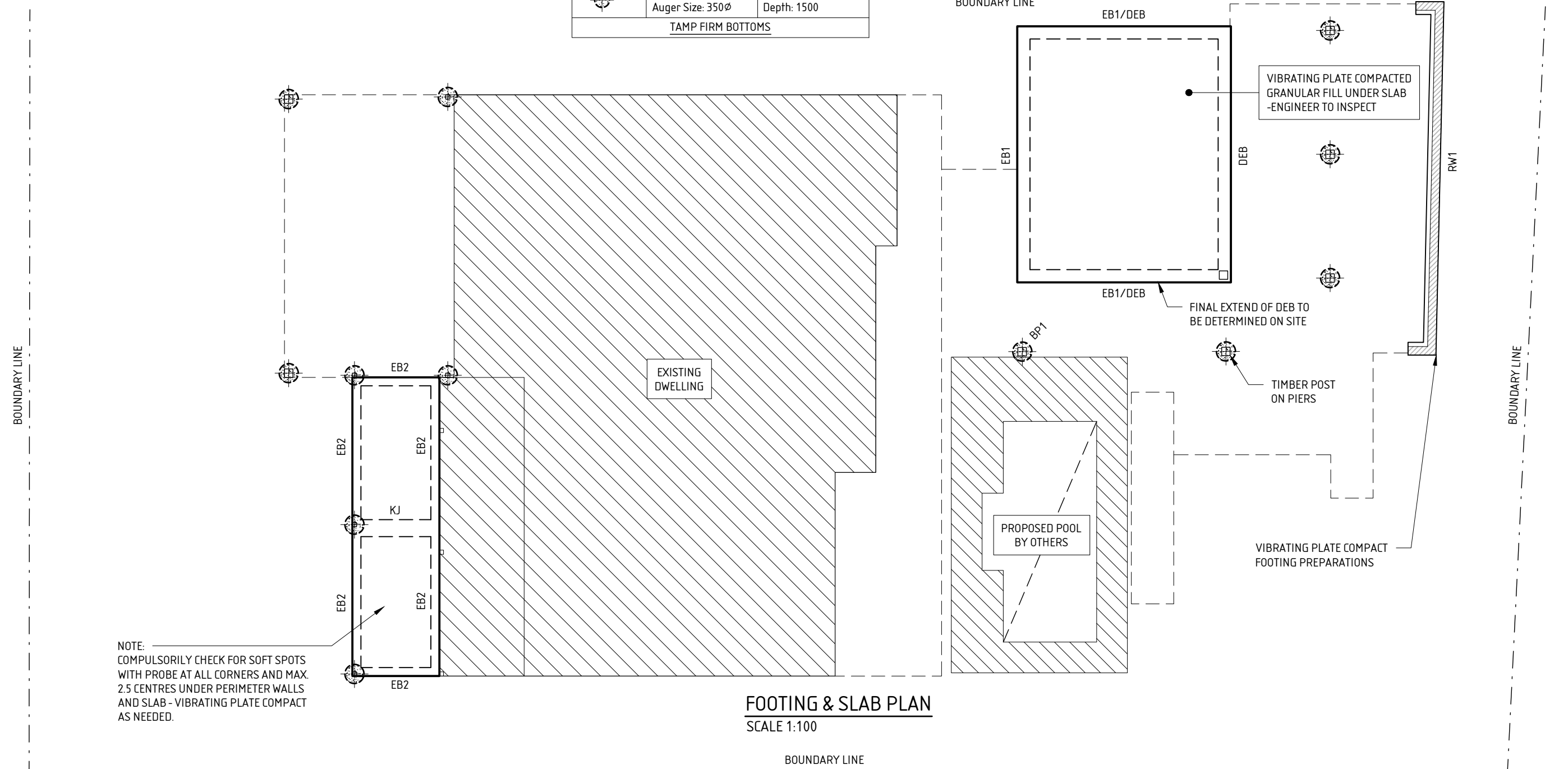
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SLAB DESIGN SUMMARY (U.N.O)	
'st' SLAB THICKNESS (mm)	100
'od' OVERALL DEPTH (mm)	360
'bw' BEAM WIDTH (mm)	300
'iw' INT. BEAM WIDTH (mm)	N/A
SLAB REINF'T	SL72
EXT. BEAM REINF'T (BOTTOM)	3-L11TM
INT. BEAM REINF'T (BOTTOM)	N/A
BEAM REINF'T (TOP)	NOT REQ'D

GEOTECHNICAL INFORMATION	
SOIL CLASSIFICATION:	'S' CLASS PROPERTIES
SOIL TEST BY:	NRSCE
REFERENCE #:	CS0216
DATE:	10.1.19
LEVEL 1 COMPACTION:	N/A
RFM:	FIRM NATURAL SAND - TAMP FIRM
MIN. BEARING CAPACITY:	100 kPa

LEGEND	
EB1-EB2	EDGE BEAM
DEB	DEEP EDGE BEAM
RW1	RATAINING WALL
	DENOTES CONCRETE BORED PIERS SUPPORTING TIMBER POST ON STEEL SADDLE, CONNECTION BY BUILDER.
	DENOTES CONCRETE BORED PIERS FOUNDED BELOW INFLUENCE OF ADJACENT POOL
TAMP FIRM BOTTOMS	

- FOOTING & SLAB NOTES:**
- F.S.1. CUT/FILL LINE SHOWN IS APPROXIMATE ONLY. IF NOT SHOWN, SITE SCRAPER SHOULD SUFFICE TO CREATE BUILDING PLATFORM. IF IN DOUBT PLEASE CONSULT ENGINEER FOR FURTHER ADVICE.
 - F.S.2. SLAB THICKENINGS OR BEAMS SHALL BE PLACED UNDER PLY BRACING/LOAD BEARING WALLS AND POINT LOADS.
 - F.S.3. BUILDER TO CONFIRM SERVICES DO NOT AFFECT STRUCTURE BEFORE COMMENCING WORK ON-SITE. REFER DETAILS IN THIS DRAWING SET FOR REQUIREMENTS.
 - F.S.4. RFM = RECOMMENDED FOUNDING MATERIAL
 - F.S.5. CONCRETE GRADE SHALL BE N20 / 100 SLUMP / 20 AGG.
 - F.S.6. DO NOT SCALE OFF ENGINEERING DRAWINGS. IF IN DOUBT, ASK



FOOTING & SLAB PLAN
SCALE 1:100

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ENG. CHECK	BI	10/12/19
SCALE	1:100	SIZE A3

APPROVED BY:

B. INMAN

PROJECT
PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

CLIENT
KRYSY & TODD CAMPBELL

FOOTING & SLAB PLAN

NORTHERN RIVERS
STRUCterre
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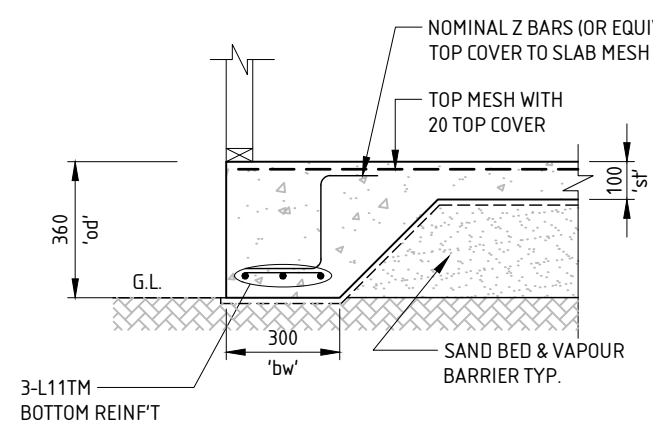
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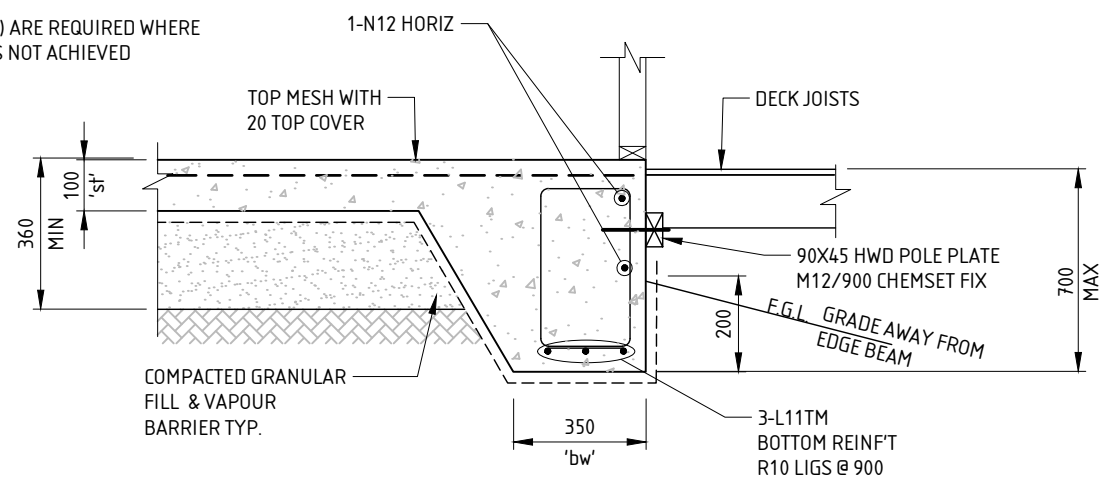
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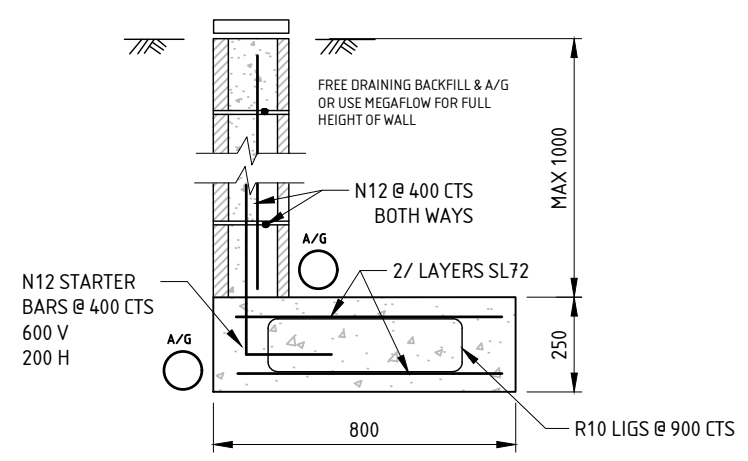
SLAB DESIGN SUMMARY (U.N.O)	
'st' SLAB THICKNESS (mm)	100
'od' OVERALL DEPTH (mm)	360
'bw' BEAM WIDTH (mm)	300
'iw' INT. BEAM WIDTH (mm)	N/A
SLAB REINF'T	SL72
EXT. BEAM REINF'T (BOTTOM)	3-L11TM
INT. BEAM REINF'T (BOTTOM)	N/A
BEAM REINF'T (TOP)	NOT REQ'D



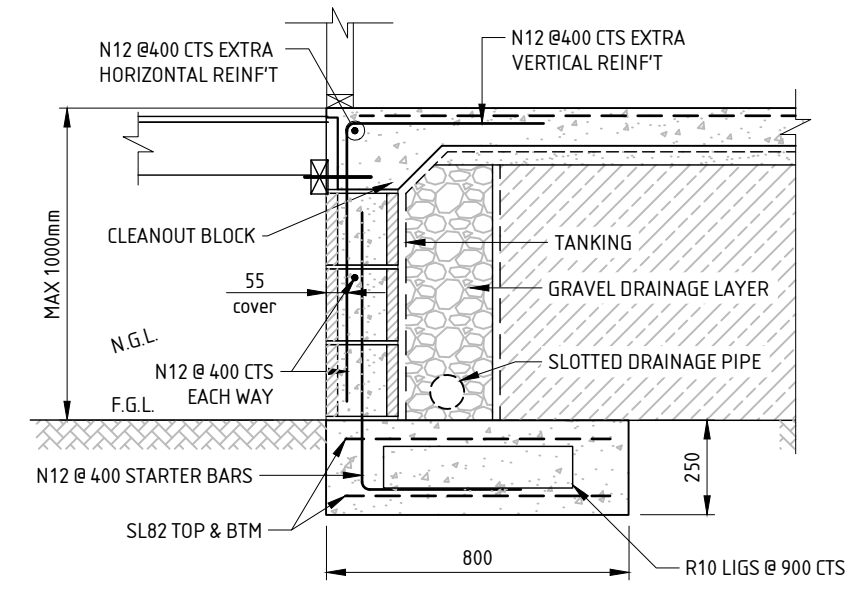
EDGE BEAM - EB1



**DROP EDGE BEAM - DEB
ALTERNATIVE**



RETAINING WALL - RW1

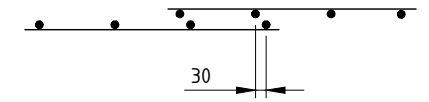


DEEP EDGE BEAM - DEB

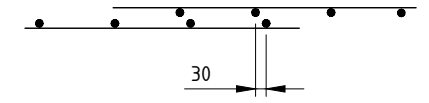
MESH LAPS

1. MESH IS TO BE LAPPED AS SHOWN BELOW:

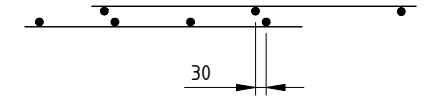
a) OVERLAP OF SIDE OF SHEETS



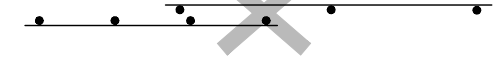
b) OVERLAP OF ENDS OF SHEETS



c) OVERLAP SIDE AND END OF SHEETS

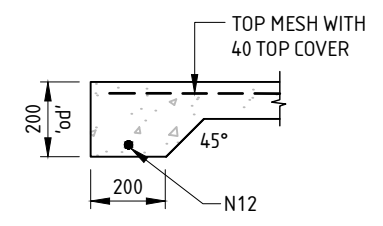


d) NOT ACCEPTABLE

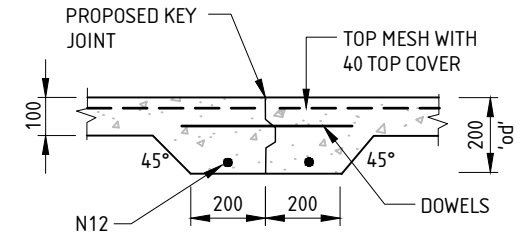


BAR LAPS

REINFORCEMENT BAR	N12	N16	N20	N24
LAP LENGTH	400	600	700	800



PATIO EDGE BEAM - EB2



KEY JOINT - KJ

GENERAL PATIO/DRIVEWAY SPECIFICATIONS

- 1) ALL CONCRETE PAVING SHALL BE ON A COMPACTED BASE OF 50 MM SAND OR CRUSHER DUST, WATERED AND VIBRATING PLATE COMPACTED.
- 2) ALL EDGES SHALL HAVE "EB4" DETAIL PER BELOW UNLESS FUTURE ENCLOSURE IS A LIKELY FACT, IN WHICH CASE CONTACT THE ENGINEER
- 3) KEY JOINTS SHALL BE INCLUDED WHERE PRACTICABLE AT 6.2 METRES CENTRES BUT SUBJECT TO SHAPE AND CONVENIENCE JOINT CENTRES MAY BE DOWN TO 1.200 METRES OR UP TO 9.000 METRES (6.200 METRES WORKS A 6.000 METRE SHEET & 9.000 WORKS 1 1/2 SHEETS).
- 4) MESH SHALL BE SUPPORTED ON CHAIRS AT MAX. 800 CENTRES BOTH WAYS IN TOP 1/3 OF SLAB.
- 5) ALL LAPS SHALL BE 2 BAR PLUS 25.
- 6) 450 DIA. PIERS TO SOLID, PARTICULARLY IN FILL, SHALL BE AT 2.000 MAX. CENTRES FOR STRAIGHT PIERS OR 2.500 MAX. WITH TOP UPSIDE DOWN CONING TO 850 DIA. AND 45 DEGREES BACK TO THE 450 DIA. CYLINDRICAL PART. FILL AREAS SHALL BE DEEMED NOT SOLID UNLESS SCALA PROBE PROVEN SANDY MATERIAL (25 MAX./BLOW).

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PROJECT
PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

FOOTING & SLAB DETAILS - SHEET 1

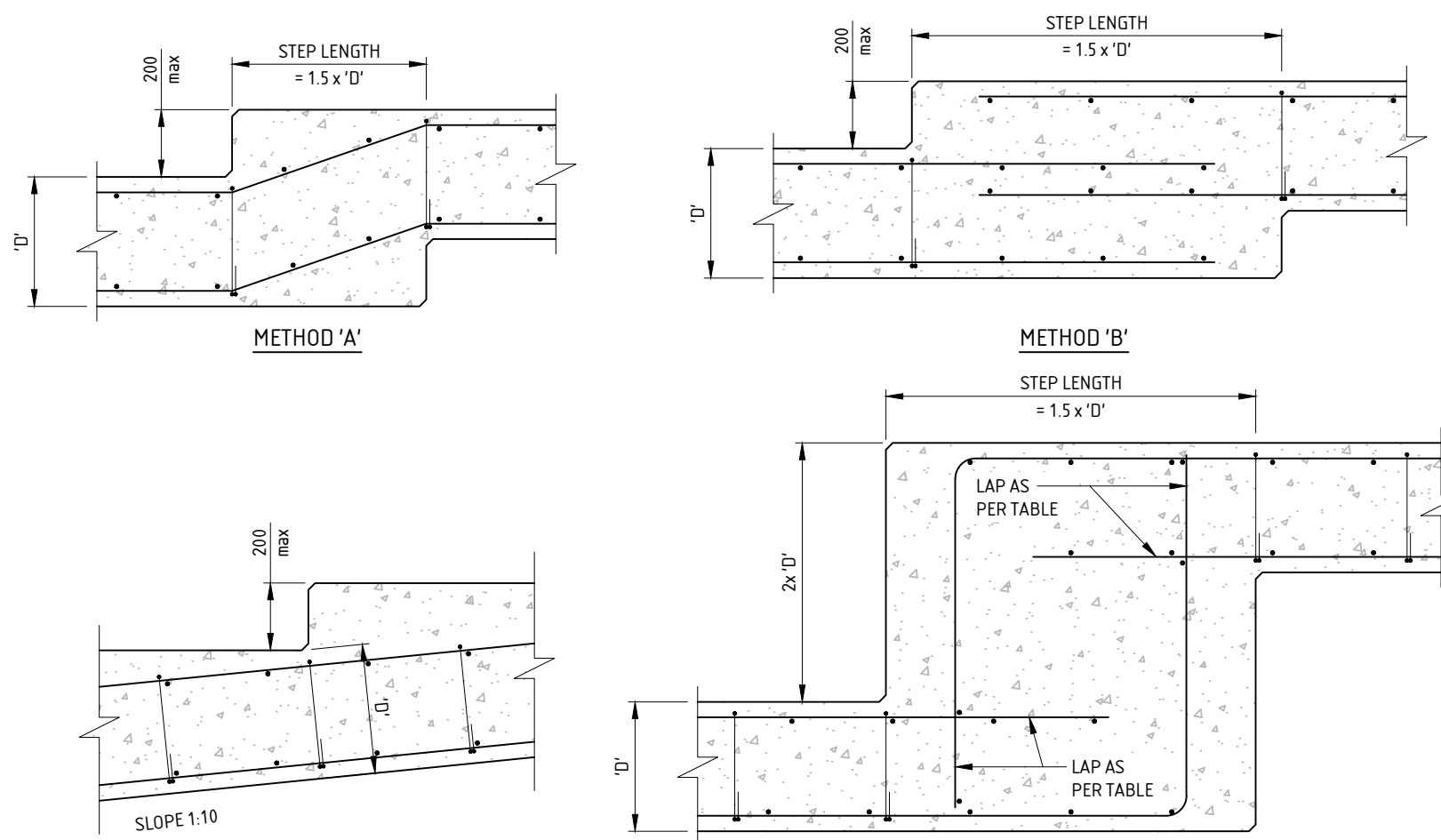
CLIENT
KRYSY & TODD CAMPBELL

NORTHERN RIVERS
STRUCterre
consulting engineers

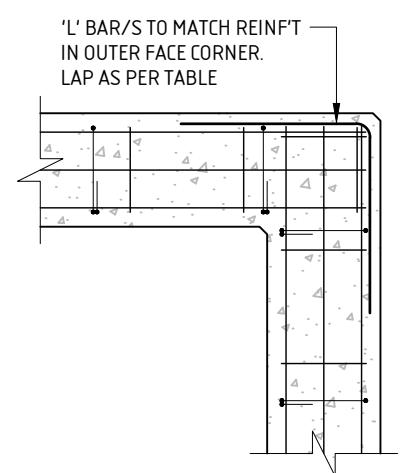
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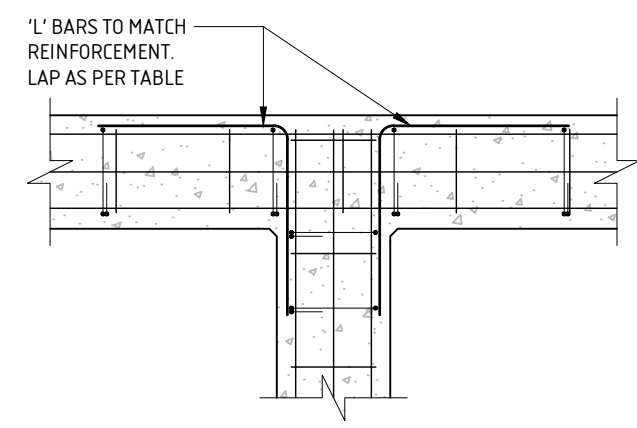
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METHODS FOR STEPPING FOOTINGS
BEND REINFORCEMENT ON SITE TO MAINTAIN COVER & LAP



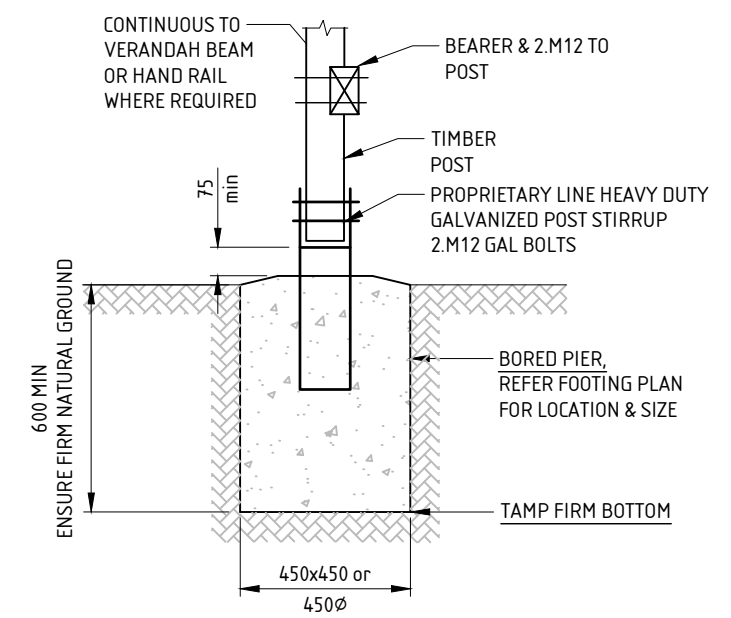
FOOTING CORNER DETAIL
SIMILAR FOR TOP REINFT BARS IN SLAB, WHERE SHOWN



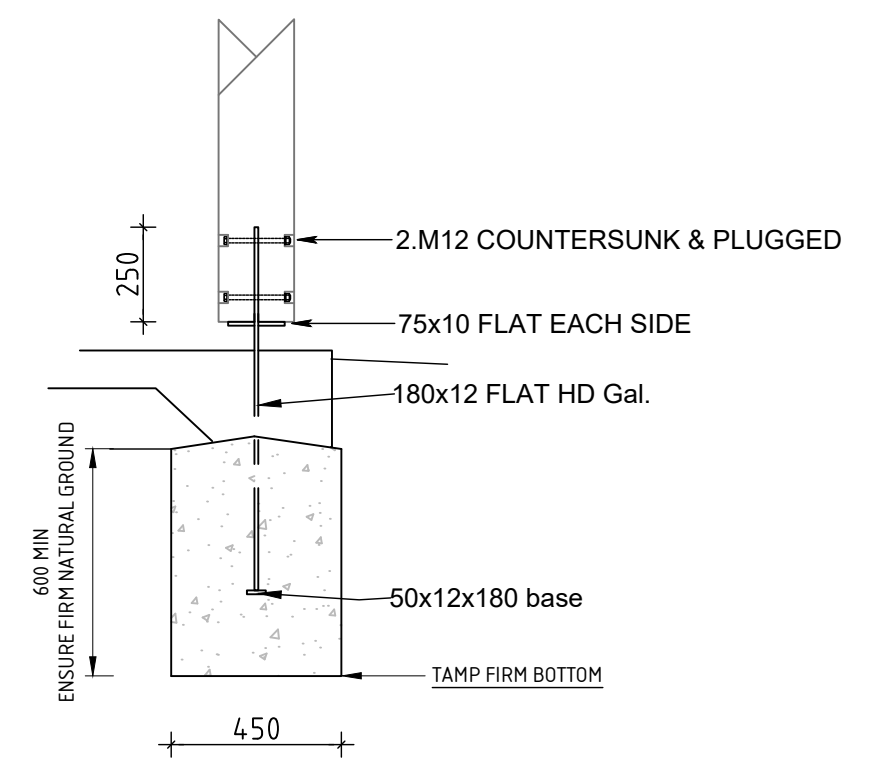
FOOTING INTERSECTION DETAIL
SIMILAR FOR TOP REINFT BARS IN SLAB, WHERE SHOWN

REINFORCEMENT BAR	N12	N16	N20	N24	BAR LAPS
LAP LENGTH	400	600	700	800	

NOTE - FOR ALL REINFORCEMENT, FOOTING SIZE AND LOCATION REFER TO FOOTING & SLAB PLAN



BORED PIER DETAIL
TYPE 1 STIRUP - UNDER DECK



BORED PIER DETAIL
TYPE 2 STIRUP - VERANDAH & ROOF POSTS

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SCALE	1:20	SIZE A3
APPROVED BY:		
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PROJECT	PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460
CLIENT	KRYSY & TODD CAMPBELL
FOOTING & SLAB DETAILS - SHEET 2	

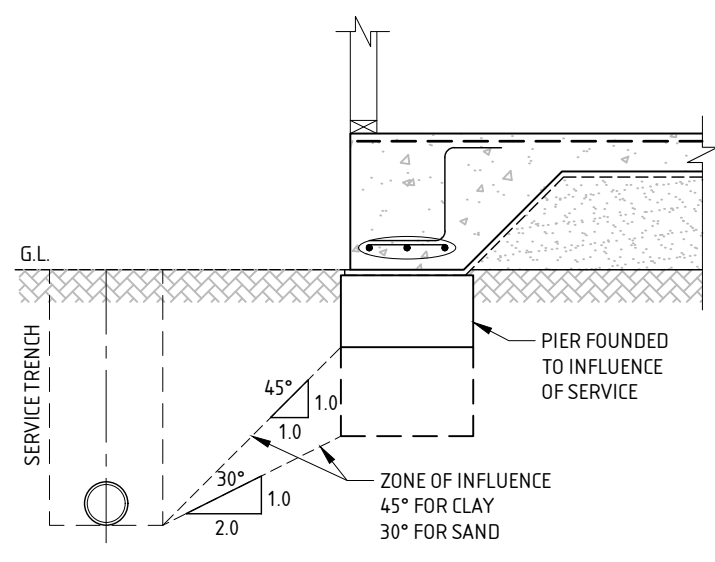
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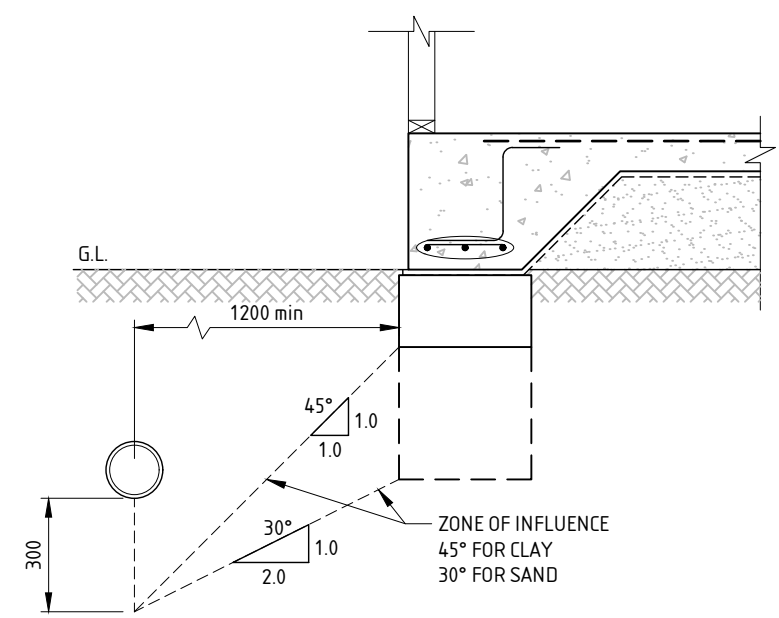
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PRIVATE SERVICE TRENCH DETAIL

PRIVATE SERVICE TRENCH NOTES

- ST.1. PLUMBING AND DRAINAGE TRENCHES SHALL BE LOCATED OUTSIDE THE INFLUENCE OF THE FOOTINGS. THE HORIZONTAL DISTANCE TO ANY TRENCH EXCAVATION MUST BE GREATER THAN THE TRENCH DEPTH IN ACCORDANCE WITH CLAUSE 6.3 FROM AS 2870-2011. THIS HORIZONTAL CLEARANCE TO BE INCREASED MORE THAN TWICE THE TRENCH DEPTH FOR SAND SITES. FOOTING PIERS WILL BE NECESSARY UNDER ALL EDGE BEAMS IF THESE CONDITIONS ARE NOT MET.
- ST.2. TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH CLAUSE 5.5 OF AS/NZS 3500.2-2003 OR CLAUSE 7.2.13 OF AS/NZS 3500.3-2003. SAND BEDDING AND SURROUND SHALL BE BLOCKED WITH A CLAY PLUG WHEREVER TRENCHES PASS UNDER THE EDGE OF ANY SLAB.



COUNCIL SERVICES WITHIN INFLUENCE OF EDGE BEAM
AS PER QDC MP 1.4

NOTE - FOR ALL REINFORCEMENT, FOOTING SIZE AND LOCATION REFER TO FOOTING & SLAB PLAN

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SCALE	1:20	SIZE A3

APPROVED BY:

B. Inman
B. INMAN

PROJECT
PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

FOOTING & SLAB DETAILS - SHEET 3

CLIENT
KRYSY & TODD CAMPBELL

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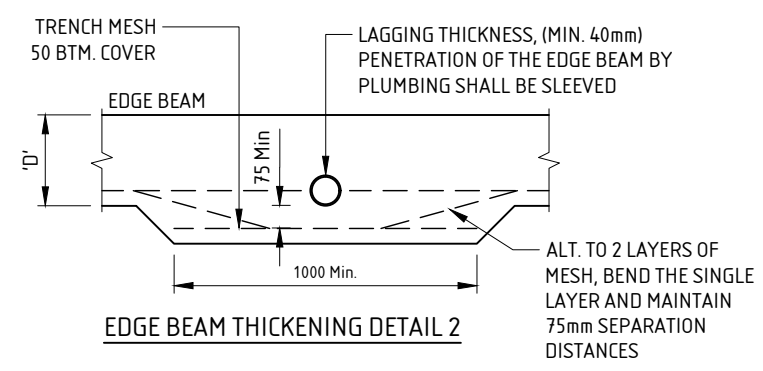
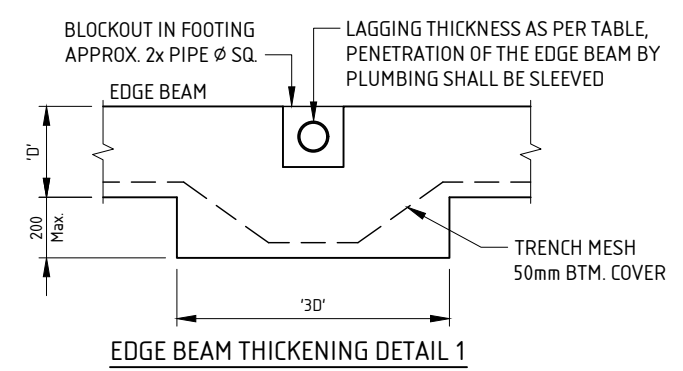
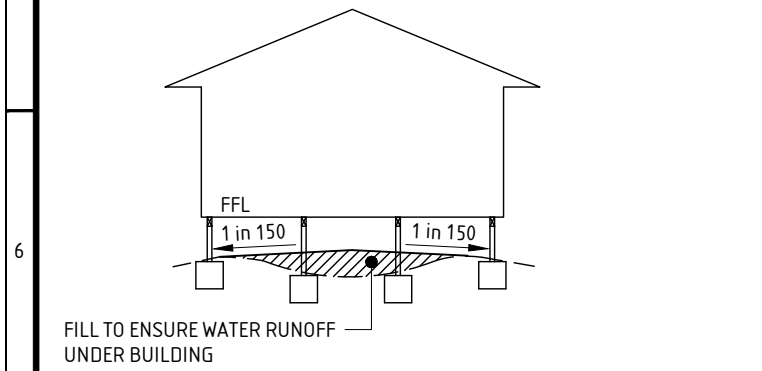
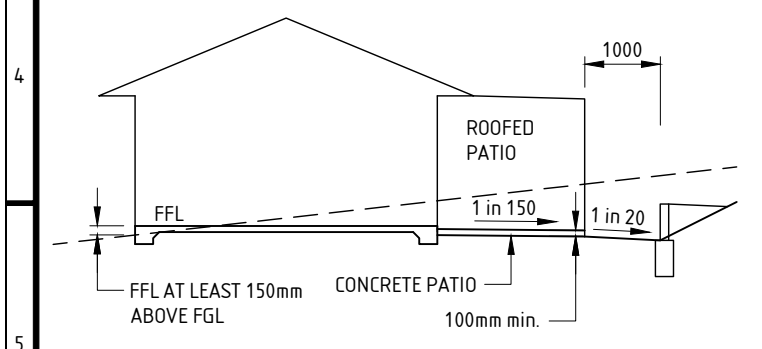
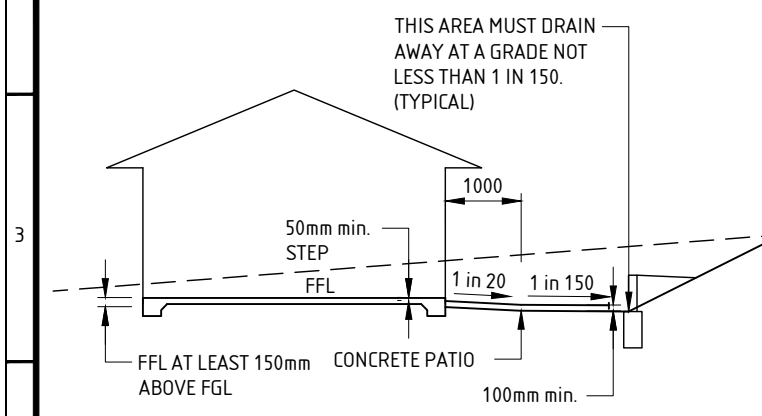
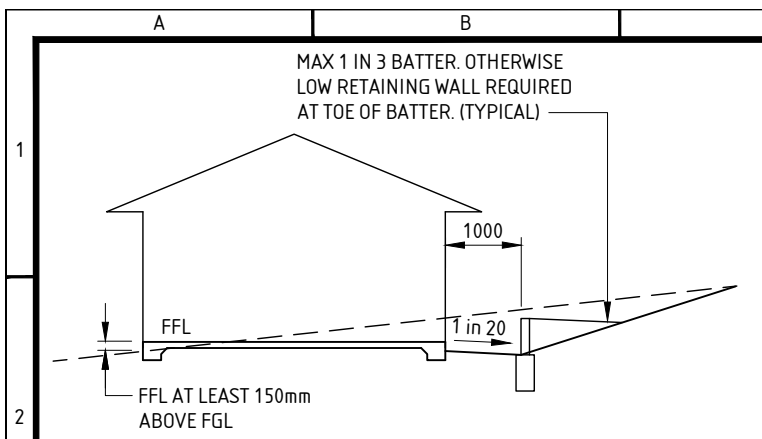
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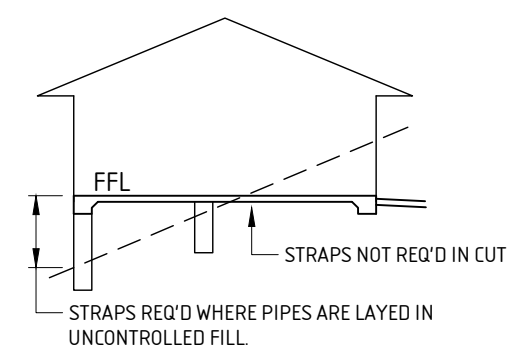
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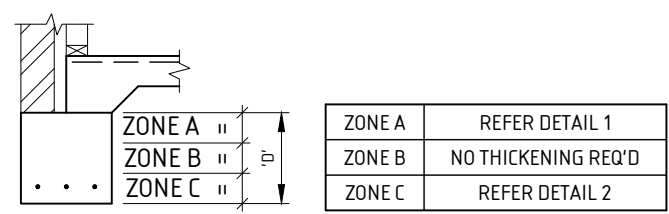
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PLUMBING PIPE PENETRATION DETAILS



PLUMBING & DRAINAGE STRAPS
FFL - FINISHED FLOOR LEVEL



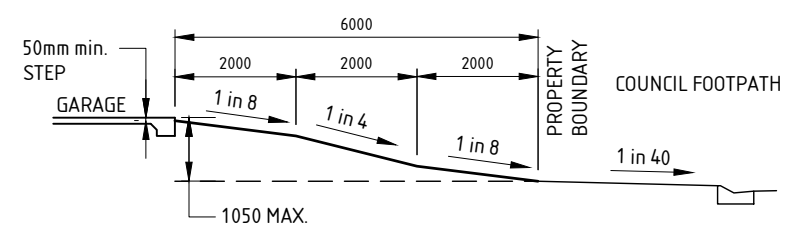
PIPE PLACEMENT

LAGGING REQUIREMENTS	
SITE CLASS	MINIMUM LAGGING THICKNESS (mm)
"M"	20
"H1"	20
"H2"	40
"E"	40
"P"	40

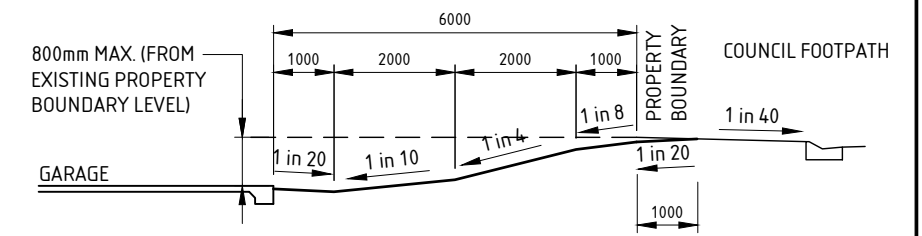
EXPANSION JOINT REQUIREMENTS		
SITE CLASS	MIN. REQ'D EXPANSION JOINT CAPACITY U.N.O	ALLOWABLE ROTATION
"H1" & "H2"	80mm	15°
"E"	150mm	15°
"P/H1 OR H2"	80mm	15°
"P/E"	150mm	15°

SURFACE DRAINAGE NOTES:

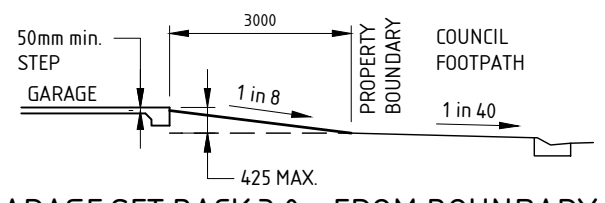
- S.D.1. CLAUSE 3.1.2.3 OF VOLUME 2 OF THE NATIONAL CONSTRUCTION CODE (NCC) REQUIRES THAT THE FINISHED HEIGHT OF ANY SLAB BE A MINIMUM OF 150mm, GENERALLY, ABOVE THE FINISHED GROUND LEVEL AFTER LANDSCAPING, AND THAT THE EXTERNAL SURFACE DRAINS AWAY WITH A MINIMUM OF 50mm FALL OVER THE FIRST METRE. IT SHOULD ALSO BE NOTED THAT CLAUSE 4.6.6.6 OF AS/NZS 3500.2-2003 REQUIRES THAT THE TOP OF THE OVERFLOW RELIEF GULLY BE A MINIMUM OF 150mm BELOW THE LOWEST GRATE IN THE SLAB AND 75mm ABOVE THE FINISHED GROUND LEVEL.
- S.D.2. FINISHED GROUND AND FLOOR LEVELS SHALL BE AS SHOWN IN THE TYPICAL SURFACE DRAINAGE DETAILS ON THIS PAGE AND THE FOLLOWING REQUIREMENTS:
 - S.D.2.1. DURING CONSTRUCTION, SURFACE WATER SHALL BE DIVERTED AWAY FROM FOOTINGS TO A LAWFUL POINT OF DISCHARGE.
 - S.D.2.2. THE FINISHED SURFACE OF ANY GROUND, INCLUDING PATHWAYS AND DRIVEWAYS, SHALL BE GRADED AWAY FROM ANY FOOTING, SLAB OR BASEMENT RETAINING WALL A MINIMUM OF 50mm OVER THE FIRST METRE.
 - S.D.2.3. THE GROUND SHALL THEN BE GRADED AROUND THE BUILDING SUCH THAT SURFACE WATER WILL DRAIN AWAY FROM THE BUILDING TO A LAWFUL POINT OF DISCHARGE.
 - S.D.2.4. THE GROUND SHALL ALSO BE SHAPED SUCH THAT NO PONDING OF SURFACE WATER CAN OCCUR.
 - S.D.2.5. WHERE DRAINAGE PITS ARE INSTALLED TO DRAIN SURFACE WATER AWAY, GRATED INLET PITS SHALL BE INSTALLED WITH PIPES DRAINING TO A LAWFUL POINT OF DISCHARGE. PITS AND PIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3-2003. DRAINAGE PITS MAY NEED TO BE INSTALLED TO ALLOW SURFACE WATER TO DRAIN AWAY IN AREAS WHERE THE DISTANCE FROM A FOOTING TO A BOUNDARY OR ADJACENT STRUCTURE, EG FENCE, IS LESS THAN 1.0m.
 - S.D.2.6. THE FINISHED FLOOR LEVEL OF ANY GARAGE OR CARPORT SHALL ALSO BE SET SUCH THAT DRIVEWAY SLOPES COMPLY WITH AS/NZS 2890.1-2004. REFER TO THE TYPICAL DRIVEWAY DETAILS ON THIS PAGE.
- S.D.3. RETAINING WALLS SHALL BE INSTALLED AT THE BASE OF CUT AND FILL BATTERS WHERE BATTER SLOPES EXCEED 1:3. RETAINING WALLS ARE ALSO REQUIRED WHERE CUTTING BELOW THE BASE OF AN EXISTING RETAINING WALL AND WHERE AN ADDITIONAL SURCHARGE IS PLACED ABOVE AN EXISTING RETAINING WALL.



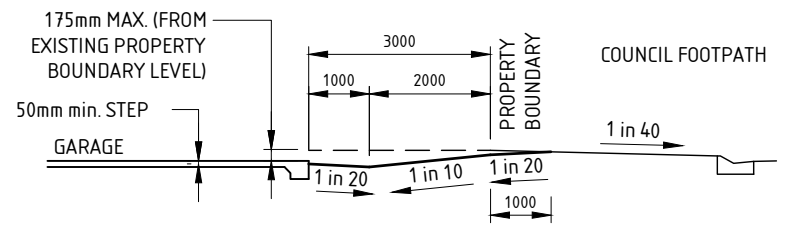
GARAGE SET BACK 6.0m FROM BOUNDARY
THE 1 IN 4 SLOPE IS EXTENDED FOR SET BACKS GREATER THAN 6.0m



GARAGE SET BACK 6.0m FROM BOUNDARY
THE 1 IN 4 SLOPE IS EXTENDED FOR SET BACKS GREATER THAN 6.0m



GARAGE SET BACK 3.0m FROM BOUNDARY
THE 1 IN 8 SLOPE IS EXTENDED FOR SET BACKS GREATER THAN 3.0m & 6.0m



GARAGE SET BACK 3.0m FROM BOUNDARY
THE 1 IN 8 SLOPE IS EXTENDED FOR SET BACKS GREATER THAN 3.0m & 6.0m

TYP. SURFACE DRAINAGE DETAILS

FFL - FINISHED FLOOR LEVEL
FGL - FINISHED GROUND LEVEL

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SCALE	NTS	SIZE A3

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PROJECT
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SURFACE DRAINAGE DETAILS

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NORTHERN RIVERS
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consulting engineers

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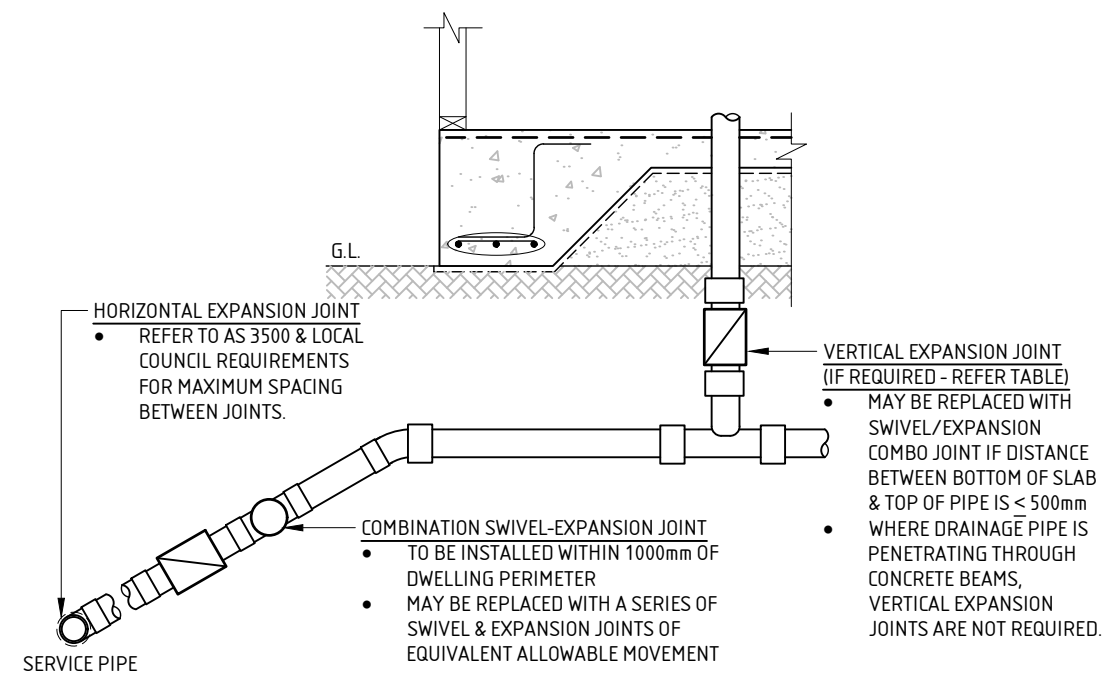
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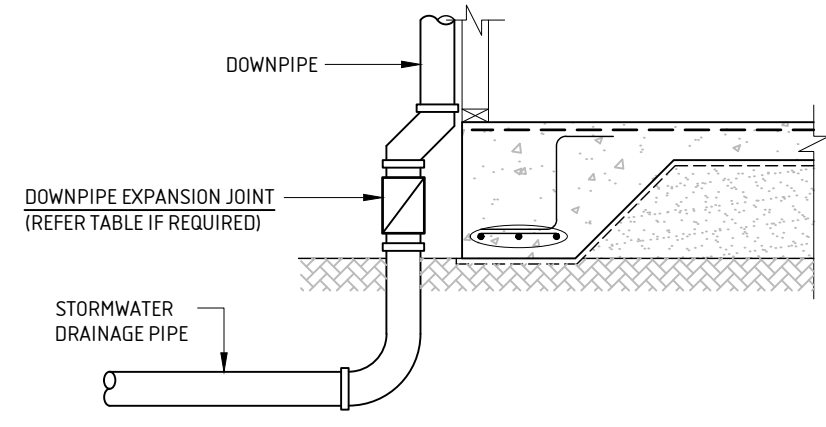
REV **0**

PLUMBING CONNECTION NOTES:

- P.1. THE FOLLOWING NOTES & DETAILS PROVIDED ARE A GUIDE ONLY FOR ARTICULATION FOR SANITARY PLUMBING, DRAINAGE & SHOULD BE READ IN CONJUNCTION WITH AS/NZS 3500, AS 2870 & ANY OTHER RELEVANT STANDARD & OTHER REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
- P.2. ALL SEWER & STORMWATER TO BE CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500 & THE REQUIREMENTS OF AS 2870 SECTION 5: CLAUSE 5.6 & SECTION 6: CLAUSE 6.6: FOR SLAB OR STRIP FOOTINGS ON HIGHLY AND EXTREMELY REACTIVE SITES, THE FOLLOWING REQUIREMENTS APPLY: DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1m OF THE BUILDING PERIMETER TO ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENT OF THE SITE (Ys). IN THE ABSENCE OF SPECIFIC DESIGN REQUIREMENTS, THE FITTINGS OR OTHER DEVICES THAT ARE PROVIDED TO ALLOW FOR THE MOVEMENT SHALL BE SET AT THE MID POSITION OF THEIR RANGE OF POSSIBLE MOVEMENT AT THE TIME OF INSTALLATION, SO AS TO ALLOW FOR MOVEMENT EQUAL TO 0.5YS IN ANY DIRECTION FROM THE INITIAL SETTING. THIS REQUIREMENT APPLIES TO ALL STORMWATER AND SANITARY PLUMBING DRAINS AND DISCHARGE PIPES.
- P.3. PLUMBING & DRAINAGE UNDER THE SLAB SHOULD BE AVOIDED WHERE PRACTICAL (REFER AS/NZS 3500 CLAUSE 4.10)
- P.4. GRADES IN PIPEWORK ON 'M', 'H', 'E' & 'P' SITES SHOULD HAVE A MINIMUM GRADE OF 1:30 WITHIN 1.5 METRES OF THE BUILDING & 1:60 ELSEWHERE. GRADES IN FLEXIBLE FITTINGS TO BE SET AT THE MINIMUM GRADE.
- P.5. ALL EXPANSION & ARTICULATION JOINTS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS TO BE SET MID POINT SO AS TO ALLOW FOR MAXIMUM MOVEMENT IN EITHER DIRECTION.
- P.6. STORMPLASTICS (SA) PTY LTD "SWIVEL JOINTS" SHOULD NOT BE USED AS A BEND TO ACHIEVE CORRECT FALLS. THE JOINTS SHOULD BE SET IN A STRAIGHT LINE OF THE DRAIN TO ALLOW MAXIMUM (+) OR (-) MOVEMENT. A MINIMUM 15° BEND TO BE INSTALLED BEFORE SWIVEL JOINTS TO ACHIEVE MINIMUM GRADES FROM THE FACE OF THE FOOTINGS.
- P.7. GULLY PITS ARE RECOMMENDED UNDER ALL HOSE COCK LOCATIONS
- P.8. 20mm PENETRATION LAGGING IS ONLY RECOMMENDED THROUGH PENETRATIONS GREATER THAN 50mm DIA.
- P.9. DETAIL & SUPPORT OF TRAPS AT THE O.R.G. TO BE CONSIDERED ON SITE, TO ALLOW FOR POTENTIAL MOVEMENTS INCLUDING ISOLATION AND ARTICULATION ASSOCIATED WITH PATHS & PAVEMENTS. THE O.R.G. SHOULD BE CAST IN CONCRETE MONOLITHICALLY WITH THE FOOTING SYSTEM ON CLASS 'H' & 'E' SITES.
- P.10. STORMWATER SYSTEMS THAT COLLECT ROOFWATER & SURFACE WATER ARE REQUIRED TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500 PART 5.
- P.11. THE USE OF CORRUGATED FLEXIBLE PVC PIPE PRODUCTS SHOULD BE AVOIDED ON CLASS H & E SITES AS THEY ARE NOT ABLE TO EXPAND LONGITUDINALLY TO ACCOMMODATE POTENTIAL VERTICAL & LATERAL MOVEMENTS AT THE SLAB OR FOOTING EDGE UNLESS SPECIFICALLY DETAILED BY THE MANUFACTURER.
- P.12. SEPTIC TANKS & ASSOCIATED SOAKAGE AREAS SHOULD BE LOCATED TO MINIMISE SOIL MOISTURE INCREASES WITHIN THE FOUNDATION.
- P.13. ALL PIPEWORK INCLUDING STORMWATER FITTINGS & ADAPTERS SHOULD BE PROTECTED FROM MECHANICAL DAMAGE.
- P.14. TERMITE PROTECTION NOT SPECIFIED IN THIS DESIGN AS THERE ARE VARIOUS OPTIONS. REFER TO THE BUILDING DESIGNER.
- P.15. PROVISIONS SHOULD BE MADE FOR THE CONNECTION OF OVERFLOW OR WATER DISCHARGE FROM FIXTURES SUCH AS HOT WATER SYSTEMS & AIR CONDITIONERS TO A DRAIN AS REQUIRED BY THE RELEVANT LOCAL AUTHORITY.
- P.16. EXPANDABLE JOINT & SWIVEL SPECIFICATIONS:
 - P.16.1. TO BE MANUFACTURED AND COMPLY WITH AS 1280 AND AS 1415.
 - P.16.2. TO BE INSTALLED AS PER MANUFACTURES SPECIFICATIONS AND INSPECTED BY THE LOCAL AUTHORITY.
 - P.16.3. DRAINAGE PIPES FOUNDED WITHIN THE FILLED SECTION OF THE BUILDING PAD UNDER THE SLAB ARE TO BE HUNG FROM SLAB REINFORCEMENT WITH STAINLESS STEEL STRAPS.
 - P.16.4. TO ENSURE CORRECT PLUMBING CONNECTIONS ARE INSTALLED IT IS ESSENTIAL THAT A COPY OF THIS REPORT AND ANY RELEVANT ADDITIONS (WHERE APPLICABLE) ARE SUPPLIED TO THE PLUMBER PRIOR TO THEIR PREPARATION.
 - P.16.5. IT IS ALSO ADVISABLE THAT SLAB DOCUMENTATION IS AVAILABLE ON-SITE FOR REFERENCE BY THE PLUMBERS AND NOMINATED INSPECTORS.



TYPICAL UNDER SLAB-EDGE DETAIL
NTS



TYPICAL STORMWATER DETAIL
NTS

MINIMUM PLUMBING RECOMMENDATIONS									
COMPONENT	SITE/DESIGN CLASSIFICATION								
	A & S	M	H1	H2	E	P*	M-D	H-D	E-D
HORIZONTAL PENETRATION LAGGING (mm)	x	20	20	40	40	40	40	40	40
JOINT EXPANSION SIZE (mm)	x	x	100	100	150	150	100	150	150-220
VERTICAL EXPANSION JOINTS (UNDER SLAB)	x	x	x	x	✓	✓	x	x	✓
SWIVEL JOINTS	x	x	✓	✓	✓	✓	✓	✓	✓
DOWNPIPE EXPANSION JOINTS	x	x	✓	✓	✓	✓	✓	✓	✓
GULLY PITS FOR HOSE COCKS & AC UNITS	x	x	✓	✓	✓	✓	✓	✓	✓

* 'P' CLASSIFICATION PLUMBING REQUIREMENTS ARE SPECIFIC TO UNCONTROLLED FILL ONLY

IMPORTANT NOTE:

THESE RECOMMENDATIONS ARE A GUIDE ONLY. FINAL PLUMBING REQUIREMENTS TO BE DETERMINED BY LOCAL PLUMBING AUTHORITY IN CONJUNCTION WITH AS/NZS 3500

REV	BY	DATE	ISSUE / REVISION DESCRIPTION	CHK	APP
0	HBL	10/12/19	ISSUED FOR CONSTRUCTION	BI	BI

TITLE	NAME	DATE
DRAFTER	HBL	10/12/19
DESIGNER	HBL	10/12/19
ENG. CHECK	BI	10/12/19
SCALE	NTS	SIZE A3

APPROVED BY: *B. INMAN*

PROJECT: PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

PLUMBING CONNECTION DETAILS

CLIENT: KRYSY & TODD CAMPBELL

NORTHERN RIVERS
STRUCterre
consulting engineers

Structerre CJA Pty. Ltd. (ABN: 63 619 141 310)
82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12
TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrsc.com.au

STRUCTERRE JOB No. CS0216 DRAWING REF. No. CS0216-S-106

CLIENT REFERENCE No. JW301

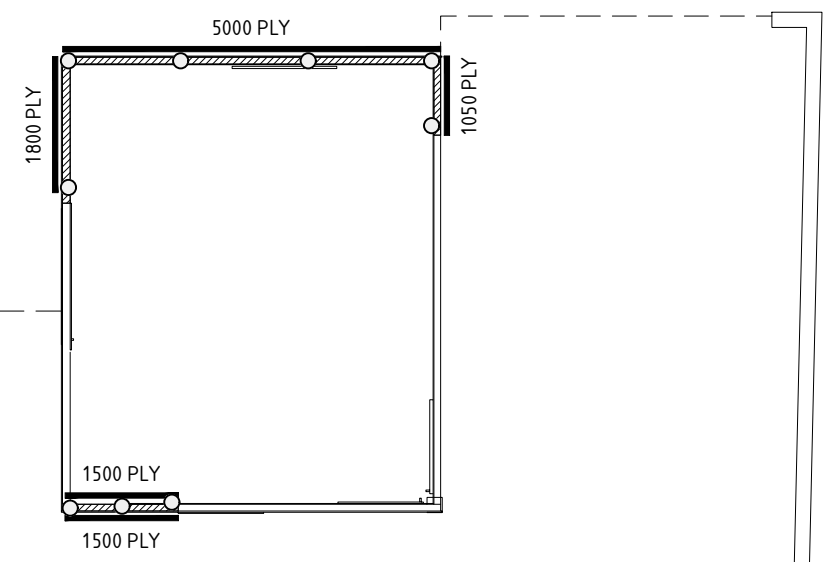
REV 0

COPYRIGHT STRUCTERRE WBA PTY. LTD. THESE DRAWINGS ARE SOLE PROPERTY OF STRUCTERRE WBA PTY. LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN OR FORMAL PERMISSION FROM STRUCTERRE WBA PTY. LTD.

WIND BRACING SCHEDULE					
WIND DIRECTION		DIRECTION A		DIRECTION B	
WIND BRACING REQUIRED (kN)		12.96		23.4	
BRACING TYPE	RATE (kN)	QUANTITY	AMOUNT (kN)	QUANTITY	AMOUNT (kN)
PLYWOOD BRACING PANEL (PLY)	6.0/m	2.85m	17.1	8.00m	48.0
WIND BRACING PROVIDED (kN)		17.1		48.0	

SPEED BRACE OR SIMILAR FIXED UNDER EACH TRUSS BOTTOM CHORD WITH 2/3.15Ø NAILS AND DOWN SIDE FACE OF STUDS AT ENDS WITH 5/3.15Ø NAILS.



EXISTING DWELLING

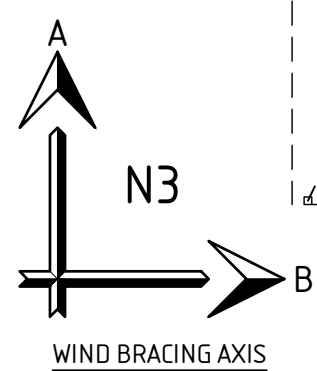


WIND BRACING NOTES:


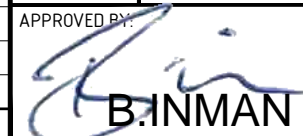
- W.1. BRACING PANELS, INCLUDING FIXINGS AT TOP & BOTTOM ARE TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND AS 1684-2010.
- W.2. CONSTRUCTION BRACING: 40% OF BRACING TO BE IN PLACE BEFORE ROOFING IS INSTALLED.
- W.3. STRUCTURAL PLY SHEET BRACING IN ACCORDANCE WITH AS 1684-2010. PLYWOOD BRACING PANELS LESS THAN 900mm IN WIDTH ARE TO HAVE ADDITIONAL FIXINGS OF 1-M10 COACH SCREW AT EACH CORNER OF THE PANEL OR M12 RODS EACH END.
- W.4. PLYWOOD BRACING (6kN/m RATING) FIXED IN ACCORDANCE WITH AS 1684 (TABLE 8.18 H).
- W.5. DOUBLE BRACED WALLS TO HAVE M16 RODS EACH END.
- W.6. CEILING DIAPHRAGM ACTION IS REQUIRED TO DISTRIBUTE LOADS TO BRACING WALLS. CEILING BATTENS TO BE DIRECTLY FIXED TO THE TRUSSES OR RAFTERS. HANGING BRACKET WILL NOT BE PERMITTED UNLESS THE BRACKET IS CERTIFIED BY THE MANUFACTURER, SPECIFICALLY THAT IT WILL NOT AFFECT THE CEILING DIAPHRAGM.
- W.7. ALL PLY BRACE TO BE INSTALLED IN VENEER CAVITY WHERE POSSIBLE.

LEGEND

-  INDICATES M16 TIE DOWN ROD FROM TOP PLATE TO FLOOR
-  INDICATES M12 TIE DOWN ROD FROM TOP PLATE TO FLOOR



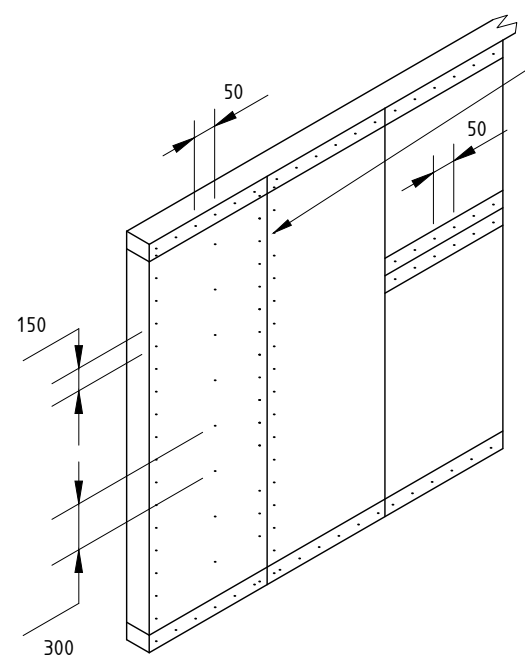
WIND BRACING PLAN
SCALE 1:100

				<table border="1"> <tr><th>TITLE</th><th>NAME</th><th>DATE</th></tr> <tr><td>DRAFTER</td><td>HBL</td><td>10/12/19</td></tr> <tr><td>DESIGNER</td><td>HBL</td><td>10/12/19</td></tr> <tr><td>ENG. CHECK</td><td>BI</td><td>10/12/19</td></tr> <tr><td>SCALE</td><td>1:100</td><td>SIZE A3</td></tr> </table>			TITLE	NAME	DATE	DRAFTER	HBL	10/12/19	DESIGNER	HBL	10/12/19	ENG. CHECK	BI	10/12/19	SCALE	1:100	SIZE A3	PROJECT		PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460		 Northern Rivers STRUCterre consulting engineers Structerre CJA Pty. Ltd. (ABN: 63 619 141 310) 82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12 TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrscce.com.au		CLIENT REFERENCE No. JW301	
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				APPROVED BY:			CLIENT		STRUCTERRE JOB No.		DRAWING REF. No.		REV																
				 B. INMAN			KRSY & TODD CAMPBELL		CS0216		CS0216-S-107		0																
<table border="1"> <tr> <th>REV</th> <th>BY</th> <th>DATE</th> <th>ISSUE / REVISION DESCRIPTION</th> <th>CHK</th> <th>APP</th> </tr> <tr> <td>0</td> <td>HBL</td> <td>10/12/19</td> <td>ISSUED FOR CONSTRUCTION</td> <td>BI</td> <td>BI</td> </tr> </table>				REV	BY	DATE	ISSUE / REVISION DESCRIPTION	CHK	APP	0	HBL	10/12/19	ISSUED FOR CONSTRUCTION	BI	BI														
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N3 - SHEET		TIE-DOWN SCHEDULE		
CONNECTION	REQUIRED	PROVIDED	DESCRIPTION	AS1684.2-2010 FIGURE REF.
ROOF SHEETING TO BATTENS	-	-	FIXED AS PER MANUFACTURERS SPECIFICATIONS	-
BATTENS TO TRUSSES	2.4 kN	4.5 kN	1/75mm No:14, TYPE 17 SCREW (ASSUMED BATTEN SIZE TO BE 38x75mm)	9.25 (D)
TRUSSES TO TOP PLATE	7.2 kN	13 kN	1/30x0.8 GI LOOPED STRAP WITH 4/2.8mm DIA NAILS EACH END	9.21 (E)
GIRDER TRUSSES TO TOP PLATE (11m ²)	14.6 kN	25 kN	2/30x0.8 GI LOOPED STRAP WITH 4/2.8mm DIA NAILS EACH END	9.21 (E)
TOP PLATE TO FLOOR FRAME/CONCRETE SLAB	14.4 kN	20.0 kN	1 - M12 ROD @ 1800mm crs & AT CORNERS (ENSURE TOP PLATE IS DESIGNED FOR 1800mm TIEDOWN SPACING)	9.19 (F)
BESIDE OPENINGS (UP TO 3600mm)	18.0 kN	20.0 kN	1 - M12 ROD EACH END	9.20 (C)
BESIDE OPENINGS (UP TO 4800mm)	22.7 kN	35.0 kN	1 - M16 ROD EACH END	9.20 (D)
ROOF BEAM TO STUDS (UP TO 10 SQM)	13.3 kN	20 kN	1 - M12 ROD	9.20 (H)
ROOF BEAM TO TIMBER COLUMN (UP TO 15m ²)	20.0 kN	35.0 kN	2 - M12 VERTICAL BOLTS THROUGH TO 2 - 150x90x10mm MS ANGLE WITH 2 - M12 HORIZONTAL THROUGH ANGLE TO COLUMN. (ENSURE 60mm EDGE DISTANCE FOR HORIZONTAL BOLTS TO TIMBER COLUMNS AND 24mm EDGE DISTANCE FOR VERTICAL BOLTS THROUGH TIMBER BEAMS)	9.20 (N)
SINGLE OR UPPER STOREY FLOOR FRAME JOISTS TO BEARER IN SAME PLANE	2.7 kN	4.7 kN	G I JOIST HANGER WITH 4 WINGS AND 3/2.8 DIA NAILS THRO' EACH WING.	9.17 (G)
SINGLE OR UPPER STOREY FLOOR FRAME JOISTS TO BEARER JOISTS OVER BEARER	2.7 kN	3.5 kN	1/FRAMING ANCHOR WITH 4/2.8mm DIA NAILS EACH LEG	9.17 (D)

NOTE: ASSUMED SHEET ROOF, TRUSSES AT 900 CRS, BATTENS AT 900 CRS, JOINT GROUP JD4, MAX ROOF LOAD WIDTH = 6000mm, BEARER/COLUMN SPACING SUPPORTING ROOF = 3000mm, HEIGHT ABOVE SINGLE/UPPER STOREY BEARERS = 3000



VERTICAL BUTT JOINTS PERMITTED PROVIDED FIXED TO NOGGING AT 50mm CRS

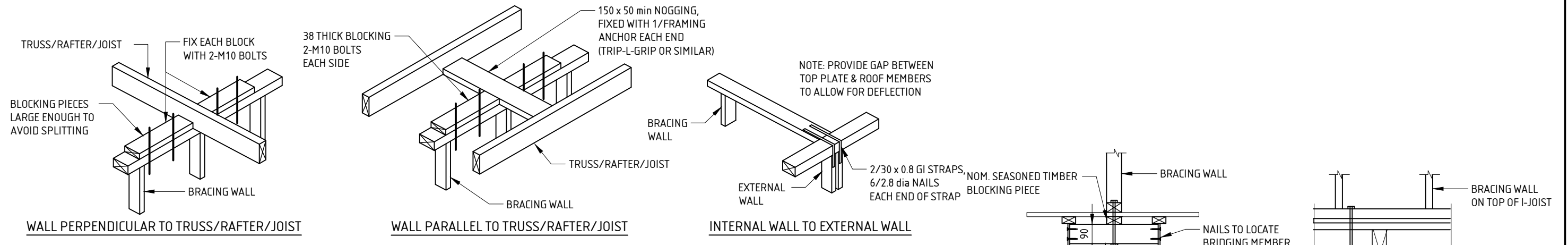
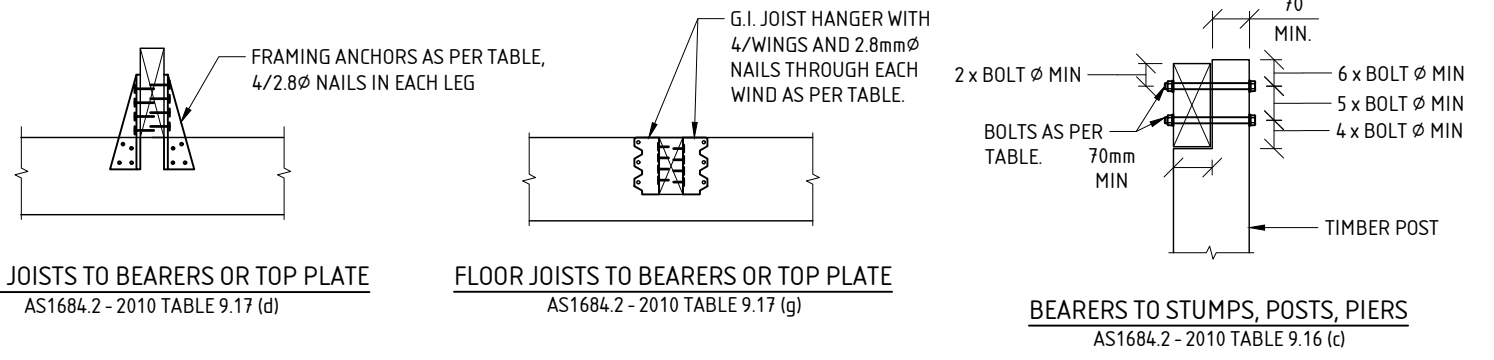
2.8 ϕ FH NAILS AT 9mm FROM EDGE OF SHEET AND: 50 CRS TOP & BTM PLATE, 150 CRS VERTICAL EDGES & 300 CRS INTERMEDIATE STUDS

BRACING PANELS CONNECTED TO FLOOR WITH A 13kN AT EACH END & INTERMEDIATELY AT 1200mm CRS MAX.

MINIMUM PLYWOOD THICKNESS (mm)		
PLYWOOD STRESS GRADE	STUD SPACING 450mm	STUD SPACING 600mm
F8	7mm	9mm
F11	6mm	7mm
F14	4mm	6mm
F27	4mm	4.5mm

TYPICAL BRACING WALL (PLY)

READ IN CONJUNCTION WITH AS 1684 TABLE 8.18(h) - METHOD B (6.0 kN/m RATING FOR 2.7m HIGH WALLS)



TYPICAL BRACING WALL CONNECTION DETAILS

READ IN CONJUNCTION WITH AS 1684

REV	BY	DATE	ISSUE / REVISION DESCRIPTION	CHK	APP
0	HBL	10/12/19	ISSUED FOR CONSTRUCTION	BI	BI

TITLE	NAME	DATE
DRAFTER	HBL	10/12/19
DESIGNER	HBL	10/12/19
ENG. CHECK	BI	10/12/19
SCALE	NTS	SIZE A3

APPROVED BY:

B. INMAN

PROJECT

PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460

BRACING DETAILS

CLIENT **KRYSY & TODD CAMPBELL**

NORTHERN RIVERS

STRUCterre
consulting engineers

Structerre CJA Pty. Ltd. (ABN: 63 619 141 310)

82 JUBILEE STREET, MACLEAN NSW, 2463. P.O. Box 12
TEL (02) 6645 2637 FAX (02) 6645 3175 EMAIL: admin@nrsc.com.au

STRUCTERRE JOB No. **CS0216** DRAWING REF. No. **CS0216-S-108**

CLIENT REFERENCE No. **JW301**

REV **0**

A.B.N. 63 619 141 310
Unit 5A/61 Centennial Circuit,
Byron Bay NSW 2481
Tel: 026680 7510

Bill To:
CAMPBELL
PROPOSED ALTERATIONS & ADDITIONS
19 GUMNUT ROAD, YAMBA NSW

Invoice Date: 10/01/2020
Our Ref: CS0216
Invoice No: 302640

TAX INVOICE

Job Address: 19 GUMNUT ROAD, YAMBA NSW

CODE	DESCRIPTION	PURCHASE ORDER	FEE
SITE CLASSIFICATION REPORT	Fee for provision of site classification report	19 GUMNUT	\$300.00
FOOTING DESIGN	FEE FOR FOOTING & SLAB	19 GUMNUT	\$400.00
WIND BRACING & TIE DOWN	FEE FOR WIND BRACING & TIE DOWN	19 GUMNUT	\$150.00

FEE: \$850.00

GST: \$85.00

TOTAL: \$935.00

+

Tear Here

PAYABLE WITHIN 7 DAYS



by direct deposit
StrucTerre CJA
Name: Northern Rivers
StrucTerre
BSB No: 086-420
A/C No: 707078450
Quote inv: 302640



by mail
Detach this section and mail your
cheque to:
Northern Rivers StrucTerre
Unit 5A/61 Centennial Circuit,
BYRON BAY NSW 2481

AMOUNT PAYABLE: \$935.00

Byron Bay
Unit 5A/61 Centennial Circuit
BYRON BAY NSW 2481
Tel: 026680 7510
Fax:



by credit card
To pay via MasterCard or Visa.
by PHONE: 026680 7510
Quote inv: 302640
credit card payment will incur a 1.1% surcharge

Yamba
Unit 7-11, 18 Coldstream Street
Yamba NSW 2464
Tel: 0437 904 790

Building Act 1993
Building Regulations 2006

CERTIFICATE OF COMPLIANCE NSW – STRUCTURAL DESIGN

Property Details

Project Address: Lot 206 on D.P. 260230, Gumnut Road, Yamba, NSW 2460
Project Description: Single Residential Development
Description of Component/s Certified: Slab and footings, wind bracing & tie-down

Compliance:

I certify that the part of the design described above has been designed in accordance with the project specifications and complies with the provisions of the Building Code of Australia (BCA), including the relevant codes and standards referred to therein as listed below.

Australian Standards/Reference Documents

AS 4055:2012 Wind Loads for Housing
AS 2870:2011 Residential Slabs and Footings
AS 3600:2009 Concrete Structures
AS 3700:2001 Masonry Structures
AS/NZS 4100:1998 Steel Structures
Geotechnical xxx Engineers Ref: xxxx, Dated xx/xx/xx.

Design Documents

Drawings/Specifications: Northern Rivers Structerre Engineering Documentation
Job Number: CS0216, Drawing No. S-000 to S-003, S-101 to S-108 (Rev 0), Date: 10/12/19.

JWHIDA Building Design Services Architectural Documentation
Job Number: JW301, Sheet 1-19, Rev C, Dated 15/11/19.

Brady Inman BE (Civil)



Signature

Date: 19 December 2019

Perth | Brisbane | Sydney | Melbourne | Geelong | Geraldton | Albany | Karratha | Maclean
82 Jubilee Street Maclean NSW 2463 | P.O. Box 12 Maclean NSW 2463

Phone (+612) 6645 2637 | Fax (+612) 6645 3175 | Email admin@nrsce.com.au Web www.structerre.com.au
ABN: 63 619 141 310 Structerre CJA Pty Ltd trading as Northern Rivers Structerre Consulting Engineers

From: Mark mousley
Sent: Fri, 28 Feb 2020 13:01:09 +1000
To: Council Email
Subject: DA2019/0439
Attachments: CS0216_flood.pdf

Please see attached engineers document for DA2019/0439

Thanks

Mark Mousley

28 February 2020

Our reference: CS0216

Attention: Clarence Valley Council

RE: PROPOSED DEVELOPMENT AT LOT 206 GUMNUT ROAD YAMBA, NSW 2460
 - FLOOD CERTIFICATION

Dear Sir,

The building complies with the Australian Building Codes Board Standard for Construction of Buildings in Flood Hazard Areas. The building will withstand the likely forces imposed on it by a 1:100 year flood event including hydrostatic, hydrodynamic, debris, wave, erosion and scour actions.

If any detail of this report is unclear, contact this office.

Kind Regards



B. INMAN

BRADY INMAN (BE)



02 March 2020

Reference: MD19/0439
Contact: Scott Whitehouse

T B Campbell
PO Box 355
YAMBA NSW 2464

Construction Certificate No. CC2019/0377

Issued under the Environmental Planning and Assessment Act 1979 Section 6.7 and 6.8

Application No: DA2019/0439
Development Proposal: Studio, deck, carport & awning
Property Address: 19 Gumnut Road YAMBA NSW 2464
Legal Description: Lot 206 DP 260230
Classification: Class1A & Class10A

Determination

Application for Construction Certificate has been approved.

Plans and Specifications Approved

Drawing No	Drawn by	Drawing Dated	Sheets	Revision
A001, A101, A102, A103, A201, A202, A301, A401, A801, A802, A901,	JWHIDA	15/11/19	19	C
CS0216, S-000 to S- 001 to S-003, S-101 to S-108	Northern Rivers Structerre Consulting Engineers	10/12/19	12	0

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S6.8 of the Environmental Planning and Assessment Act 1979.

Certifying Authority

Name of Certifying Authority: Clarence Valley Council

NOTE: A Notice of Commencement Form must be submitted to Council 48 hours before commencement of construction.

Date of Endorsement: 02 March 2020

Yours faithfully

Kerry Harre
Building and Environmental Services Coordinator
BPB Accreditation BPB1042

DOC# _____
 DOC LDC _____
 11 25 MAR 2020
 clarence VALLEY COUNCIL

Contact Details:
 Postal Address: Locked Bag 23,
 GRAFTON NSW 2460
 Telephone: (02) 6643 0200
 Email: council@clarence.nsw.gov.au

Office Locations:
 2 Prince Street, Grafton
 50 River Street, Maclean

NOTICE OF COMMENCEMENT OF BUILDING OR SUBDIVISION WORK AND APPOINTMENT OF PRINCIPAL CERTIFIER
Under Environmental Planning and Assessment Act 1979
 Section 6.6

Subject Land:

Lot: 206 Section: _____ DP: 260230 No.: 19
 Street: CUMMINT ROAD Town: YAMBA

Description of Development:

STUDIO, DECK, CARPORT & AWNING

Type of Work:

Subdivision Building

Consent:

Development Application No. or Construction Certificate No Complying Development Certificate No.: DA 2019/0439

Name of Certifying Authority: CLARENCE VALLEY COUNCIL

Date Work is to Commence:

23/03/2020

If Council is the PCA please book progress inspections with **Council's Customer Service Centre on (02) 6643 0200. Bookings for next day inspections are required to be booked by 3.30pm.** I have read the attached Notice requiring mandatory inspections to be performed by the Principle Certifying Authority and understand my responsibilities in requesting these inspections to be performed.

Signed:


Applicant/Owner/Builders Name: MARIL MAUSLEY
 (Print Name)
 Signature: *M S Mausley* Date: 17/03/2020

Privacy Advice

The personal information that Council has collected or is collecting from you is personal information for the purposes of the Privacy and Personal Information Protection Act 1998 (PIPPA). Council will only use this information in accordance with the PIPPA.

The supply of this information by you is voluntary. However, if you cannot provide or do not wish to provide the information sought, the Council may be limited in dealing with your application/request. Council requires this personal information from you in order to process your application. You may make application for access or amendment to your personal information held by Council. Council will consider any such application in accordance with the PIPPA. Council is to be regarded as the agency that holds the information.

Building Inspection Report

DA/CC/CDC:	DA2019/0439	Site Address	19 Gumnut Rd Yamba		
Issued to:					
<input type="checkbox"/> Plumber <input type="checkbox"/> Builder <input type="checkbox"/> Owner <input type="checkbox"/> Other					
Inspection Type					
<input type="checkbox"/> Site – Prior to CC/CDC <input type="checkbox"/> Piers <input type="checkbox"/> Footings <input type="checkbox"/> Slab <input type="checkbox"/> Reinforced Element <input type="checkbox"/> Pool Steel <input checked="" type="checkbox"/> Frame <input type="checkbox"/> Fire rating – wall/floor/ceiling <input type="checkbox"/> Sound rating - wall/floor/ceiling <input type="checkbox"/> Wet area/Waterproofing <input type="checkbox"/> Stormwater <input type="checkbox"/> Final Completion		<input type="checkbox"/> Sewer Connection <input type="checkbox"/> Internal Drainage <input type="checkbox"/> External Drainage <input type="checkbox"/> Water plumbing Rough-In <input type="checkbox"/> Plumbing Stackwork <input type="checkbox"/> OSM/Septic Tank <input type="checkbox"/> OSM Effluent Disposal Area <input type="checkbox"/> OSM/AWTS <input type="checkbox"/> OSM/Sub/Surface Irrigation <input type="checkbox"/> Plumbing Final		<input type="checkbox"/> Erosion <input type="checkbox"/> Pool Fence <input type="checkbox"/> Environmental Enforcement	
<input type="checkbox"/> Other <input type="text"/>					
Toilet on Site? <input type="checkbox"/> Yes <input type="checkbox"/> No		PC Sign on site <input type="checkbox"/> Yes <input type="checkbox"/> No			
Adequate Erosion/Sediment Control <input type="checkbox"/> Yes <input type="checkbox"/> No					
Inspection result		<input type="checkbox"/> Work Satisfactory – Certificates Required <input type="checkbox"/> Complete works outlined below and proceed <input type="checkbox"/> Reinspection necessary before proceeding			
<input checked="" type="checkbox"/> Work Satisfactory <input type="checkbox"/> Work Unsatisfactory					
<p>Please email requested information to: council@clarence.nsw.gov.au and quote the above application number</p>					
Occupation Certificate <input type="checkbox"/> Yes <input type="checkbox"/> No		Issue unsatisfactory final letter <input type="checkbox"/> Yes <input type="checkbox"/> No			
<p>It is a legal requirement to obtain an Occupation Certificate PRIOR to occupation or use of the approved work. Failure to apply and complete any required works prior to occupation can result in fines and may prevent the issue of an Occupation Certificate which may impact on the sale of the property or insurance claims.</p>					
Issuing Officer Scott Whitehouse BPB1071					
Signature: 		Date: 19/08/2020		Time <input type="text"/>	
On Site Hazard ID	How Severe	How Likely	What Priority	Controls	
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	

GENERAL NOTES

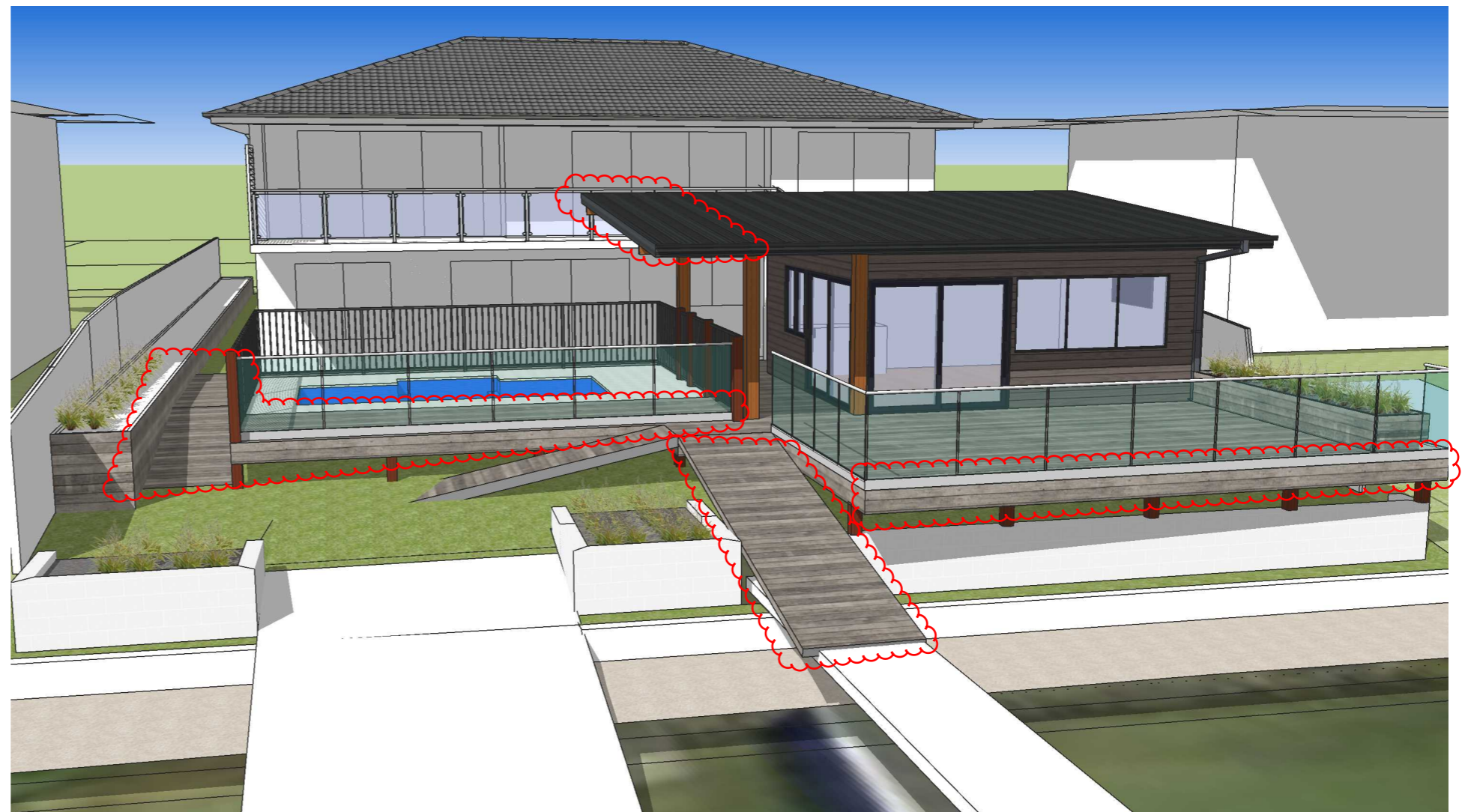
- 1 ALL DIMENSIONS & DETAILS TO BE CHECKED & VERIFIED ON SITE BY OWNER, BUILDER OR TRADESPERSON PRIOR TO CONSTRUCTION.
- 2 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 3 DIMENSIONS ARE IN MM UNLESS OTHERWISE STATED
- 4 DIMENSIONS ARE ACTUAL AND NOT NOMINAL.
- 5 DIMENSIONS ARE STRUCTURE TO STRUCTURE UNLESS OTHERWISE NOTED AND DO NOT INCLUDE INTERNAL FINISHES AND CLADDING
- 6 ALL OVERHANG DIMENSIONS SHOWN ARE FROM EXTERNAL FACE OF FRAME WORK OR GABLE FACES
- 7 EAVES OVERHANG DIMENSIONS SHOWN INCLUDE AND FASCIA (EXCLUDE GUTTERING)
- 8 IF ACTUAL CONSTRUCTION OF THE DESIGN IN THIS SET OF PLANS DIFFERS FROM THESE PLANS THE OWNER AND BUILDER TO NOTIFY DESIGNER
- 9 ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- 10 THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT CONSULTANTS DOCUMENTATION SUPPLIED
- 11 ALL FOOTINGS, SLABS, WALLS, RETAINING WALLS, STEEL, TIE-DOWN, FRAMING, BEAMS, ROOF, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER
- 12 ALL DETAILS & SPECIFICATION (EVEN IF NOT NOTED) TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (BCA), RELEVANT AUSTRALIAN STANDARDS, AND LOCAL COUNCIL BY-LAWS
- 13 IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- 14 BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 15 ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY
- 16 ALL GROUND WORKS TO BE APPROVED BY ENGINEER

19 GUMNUT ROAD, YAMBA NSW

ADDITIONS: RUMPUS ROOM, DECK & CARPORT

SCOPE OF WORKS

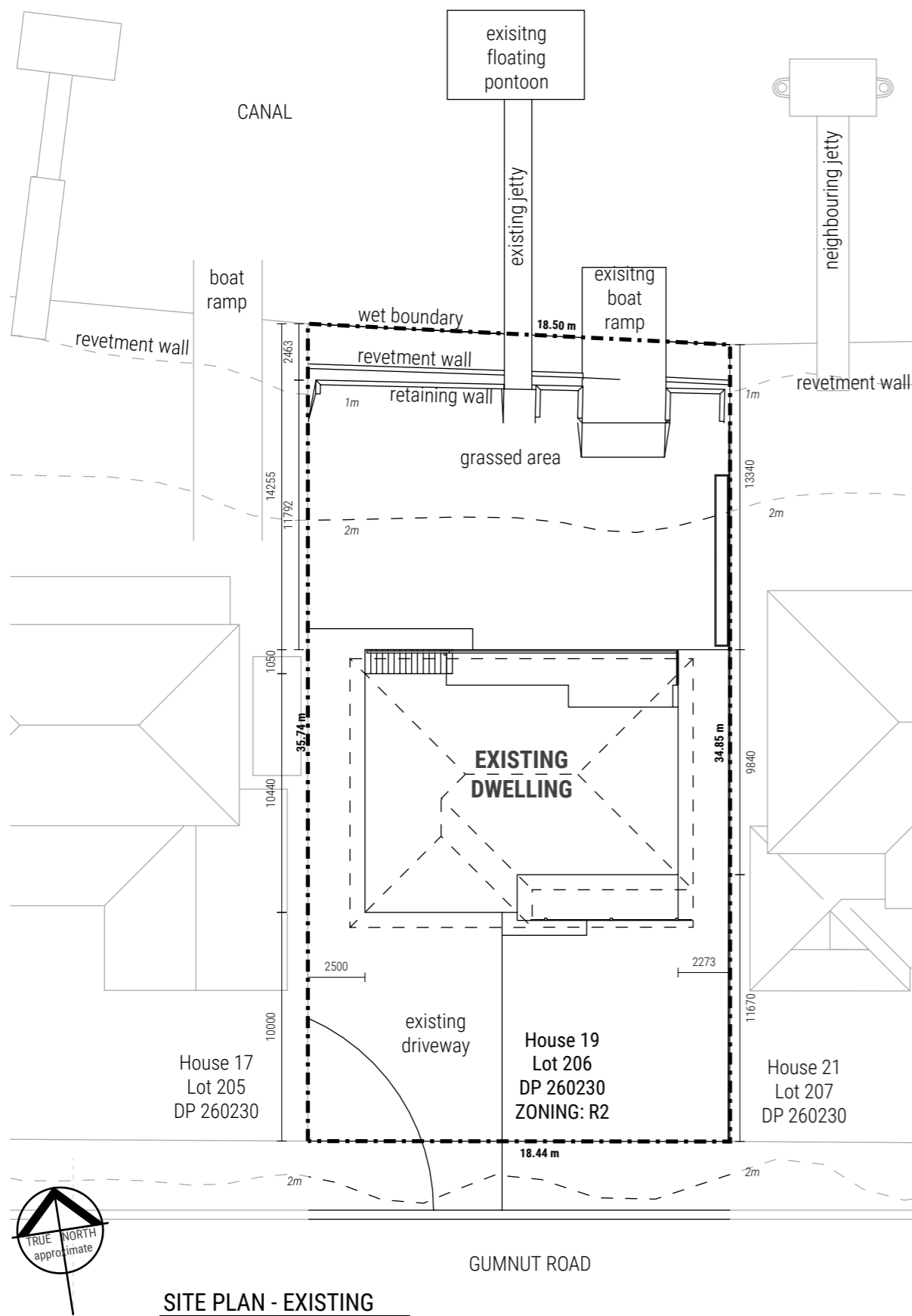
- 1 CONSTRUCTION OF NEW CARPORT AND AWNING ATTACHED TO EXISTING DWELLING
 - 2 CONSTRUCTION OF RUMPUS ROOM AT REAR OF LOT
 - 3 CONSTRUCTION OF DECK AT REAR OF LOT
 - 4 NEW FENCE ALONG WESTERN BOUNDARY
- * NOTE: POOL AND SURROUND TO BE APPROVED AS SEPARATE D.A.

**INDEX OF DRAWINGS**

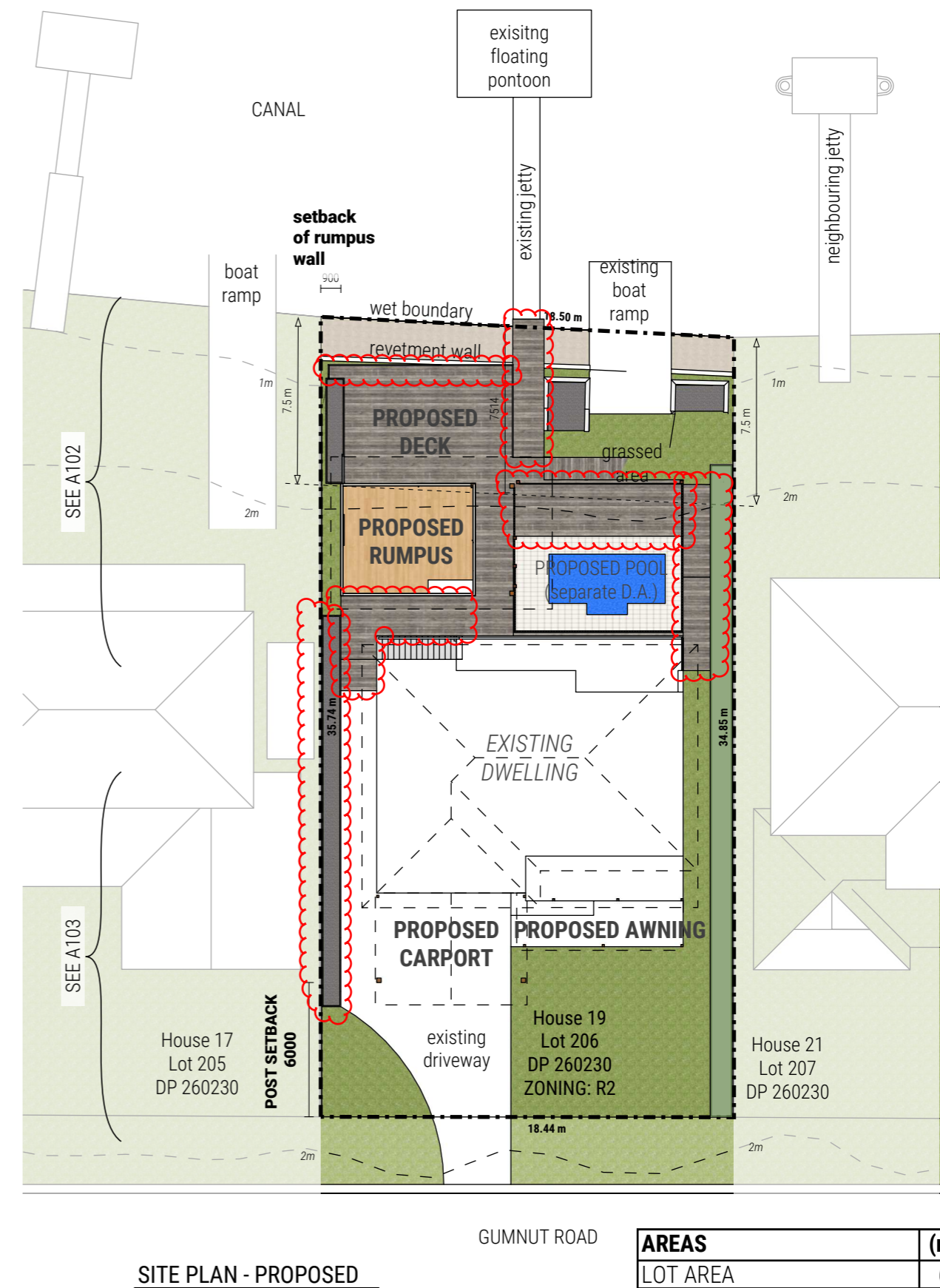
A001	COVER SHEET	--
A101	SITE PLAN	1:250
A102	PLAN - BACKYARD	1:100
A103	PLAN - FRONT YARD	1:100
A104	LANDSCAPE PLAN	1:250
A201	ELEVATIONS	1:100
A202	ELEVATIONS	1:100
A301	SECTIONS	1:100
A401	RUMPUS ROOM PLAN, ELEVATIONS, SECTIONS	1:100
A801	NOTES, WINDOW AND DOOR SCHEDULES	--
A802	NOTIFICATION PLAN	1:250
A901	PERSPECTIVES	--
A902	PERSPECTIVES	--
A903	PERSPECTIVES	--
A904	PERSPECTIVES	--
A905	PERSPECTIVES	--
A906	PERSPECTIVES	--
A907	PERSPECTIVES	--
A908	PERSPECTIVES	--
A909	PERSPECTIVES	--

CLIENT	PROJECT ADDRESS	PROJECT	DRAWING TITLE	PROJECT #	DRAWN	SCALE	DOCUMENT DATE	DRAWING No.	REV.	REVISIONS													
KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	COVER SHEET	JW301	JH CHECK --	N/A	24 / 02 / 21	A001	E	<table border="1"> <tbody> <tr><td>B</td><td>DA ISSUE</td><td>13/08/19</td></tr> <tr><td>C</td><td>AMENDMENTS FOR DA</td><td>15/11/19</td></tr> <tr><td>D</td><td>MODIFICATION</td><td>16/2/21</td></tr> <tr><td>E</td><td>LANDSCAPE PLAN, DIMS</td><td>24/2/21</td></tr> </tbody> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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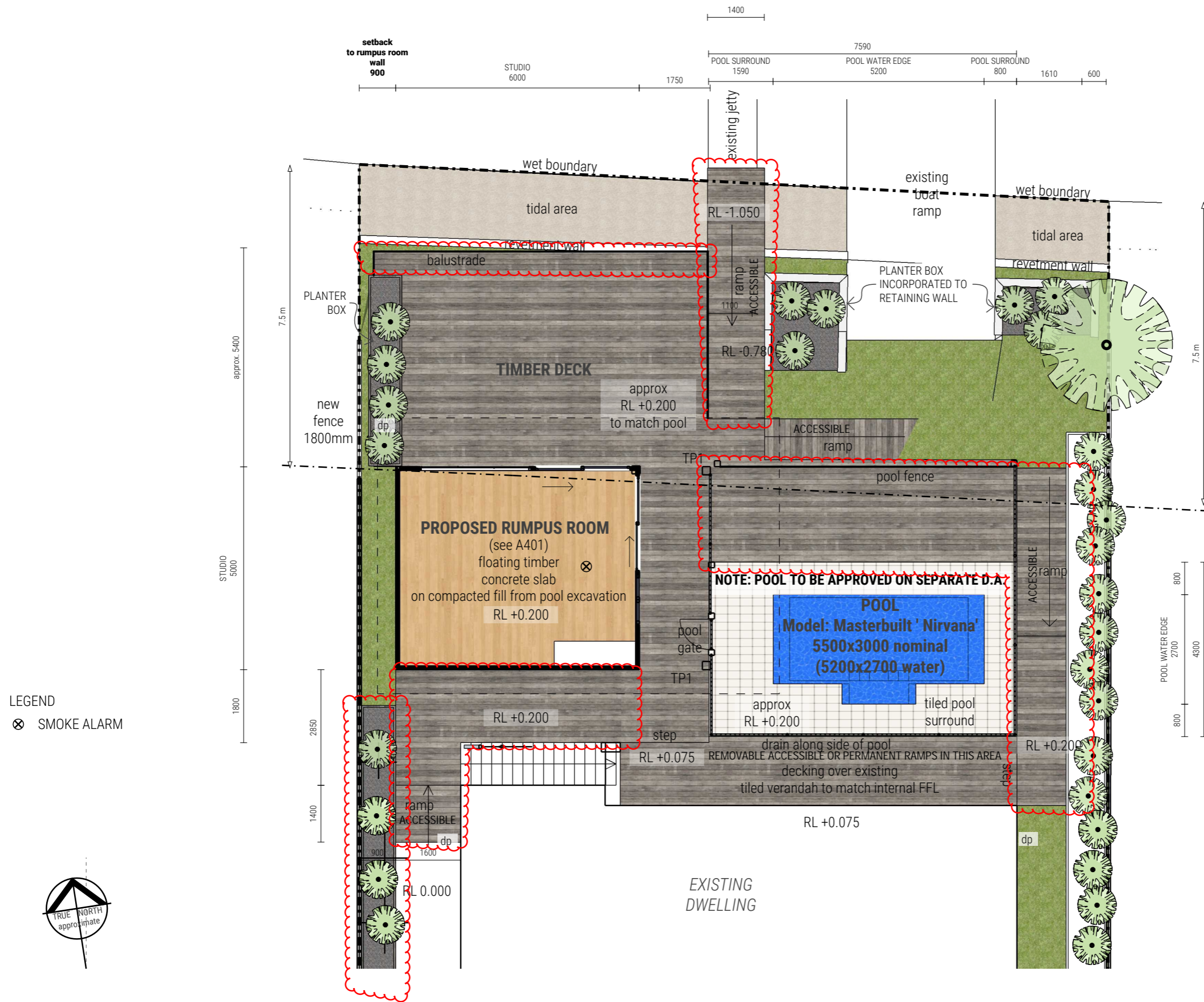
SITE PLAN - EXISTING



SITE PLAN - PROPOSED

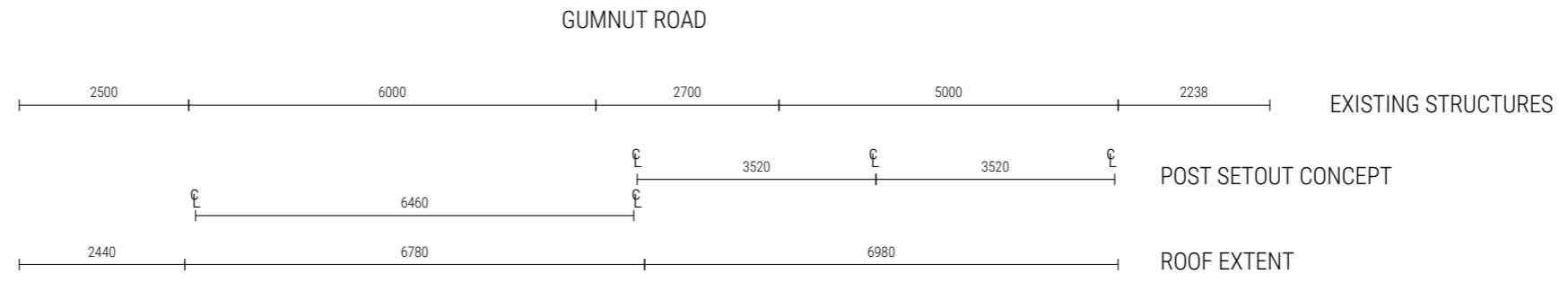
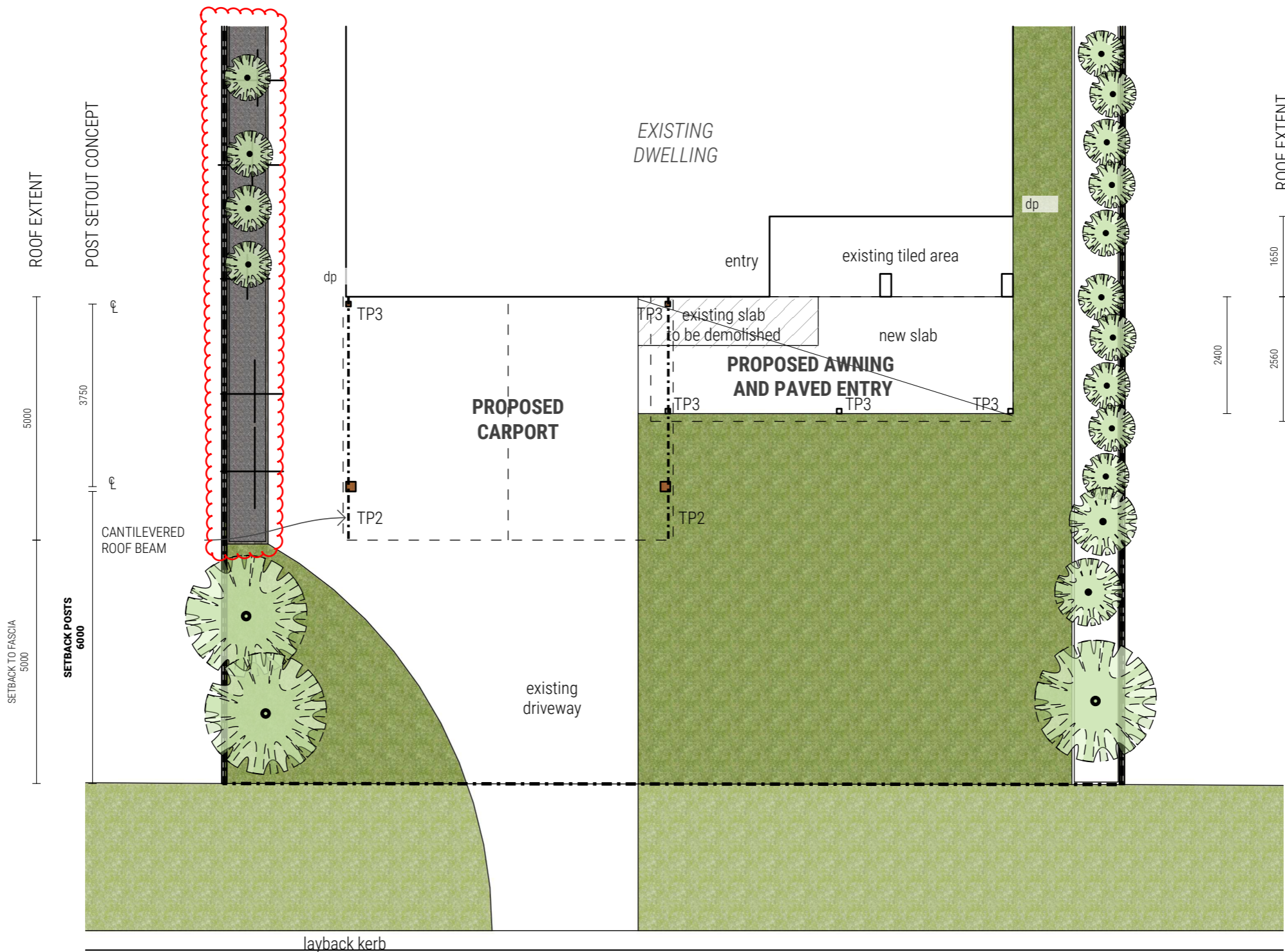
AREAS	(m2)
LOT AREA	651.9
EXISTING RESIDENCE GFA	217.9
NEW RUMPUS GFA	28.1

CLIENT KRYSZYNA & TODD CAMPBELL	PROJECT ADDRESS 19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	PROJECT 19 Gumnut Road YAMBA	DRAWING TITLE SITE PLAN	PROJECT # JW301	DRAWN JH	SCALE 1:250 @ A3	DOCUMENT DATE 24 / 02 / 21	DRAWING No. A101	REV. E	REVISIONS B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION	JWHIDA BUILDING DESIGN SERVICES
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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	PLAN - BACKYARD	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A102	E	<table border="1"> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> <tr> <td>D</td> <td>MODIFICATION</td> <td>16/2/21</td> </tr> <tr> <td>E</td> <td>LANDSCAPE PLAN, DIMS</td> <td>24/2/21</td> </tr> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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NOTE: POST LOCATIONS AS PER ENGINEERING.
SETBACK OF POSTS FROM FRONT BOUNDARY TO BE 6m MINIMUM



CLIENT	PROJECT ADDRESS	PROJECT	DRAWING TITLE	PROJECT #	DRAWN	SCALE	DOCUMENT DATE	DRAWING No.	REV.	REVISIONS	
KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	PLAN - FRONT YARD	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A103	E	B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION

	Material	Area	Area %		Landscaping %
GROUND PLANE MATERIALS					
	Building	164.0 m ²	25%	0	0%
	Concrete slab	110.9 m ²	17%	0	0%
	Decking	122.6 m ²	19%	0	0%
	Grass	133.7 m ²	21%	1	21%
	Planter box existing	45.2 m ²	7%	1	7%
	Planter box proposed	15.5 m ²	2%	1	2%
	Pool	12.3 m ²	2%	0	0%
	Retaining Wall - Revetment	4.9 m ²	1%	0	0%
	Tidal Area	21.9 m ²	3%	0	0%
	Tiles	20.2 m ²	3%	0	0%
	SUB TOTAL	651.5	100%		30%
VERTICAL VEGETATION					
	Significant existing trees				
	Planter boxes with significant vertical vegetation				

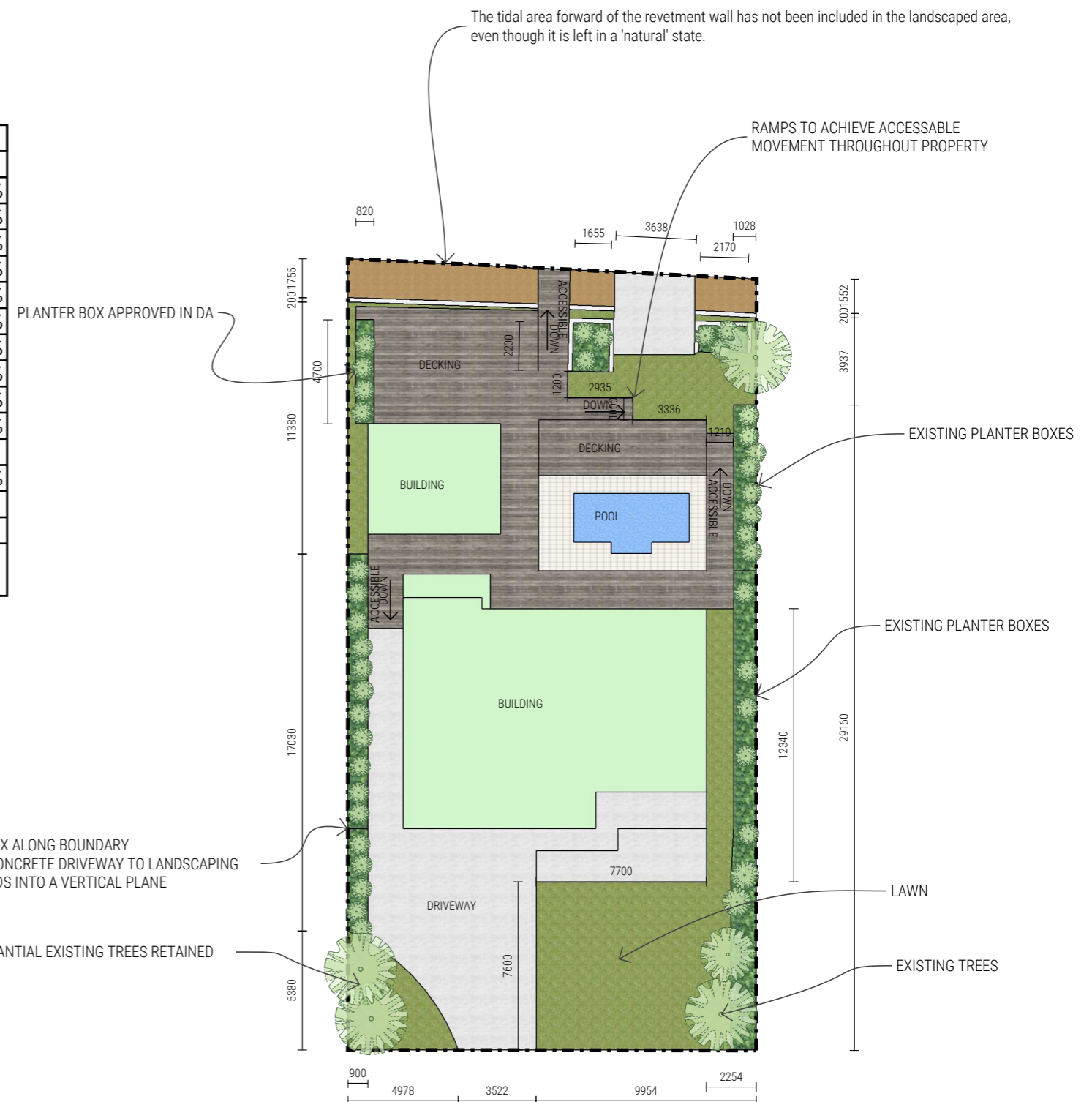
We seek a variation to Clause 19 of CVC DCP 2011 that sets minimum landscape requirements. The configuration of the property does not provide adequate private open spaces to the rear of the property that adjoins the canal. This rear area considered as 'landscaping' is comprised of sloping grass that is not particularly amenable to outdoor activities and does not provide much privacy. Conversion of this space to a useable private open space as proposed in the plans has the consequence of reducing the landscaping area to below that set in the DCP.

The proposed additions of landscaping in other areas of the property are aimed at compensating for some of this loss. Due to the constraints of the geometry of the existing situation the total landscaped horizontal area falls short of the minimums set in the DCP.

We seek consideration that these proposed landscaping additions and the significant existing trees at locations in the lot have a greater 'vertical' component than the 'horizontal' nature of the grass lost, and as such are not fully captured in a landscape assessment solely based on horizontal considerations.

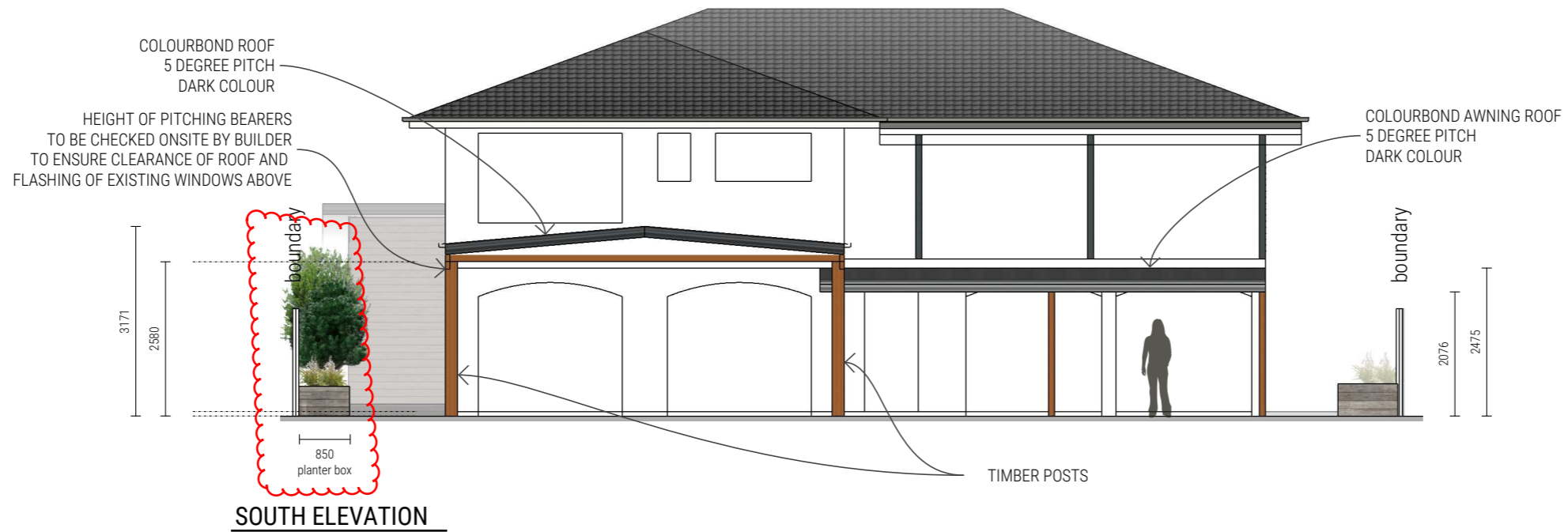
PROPOSED PLATER BOX ALONG BOUNDARY CONVERTS UNUSED CONCRETE DRIVEWAY TO LANDSCAPING LANDSCAPING EXTENDS INTO A VERTICAL PLANE

SUBSTANTIAL EXISTING TREES RETAINED

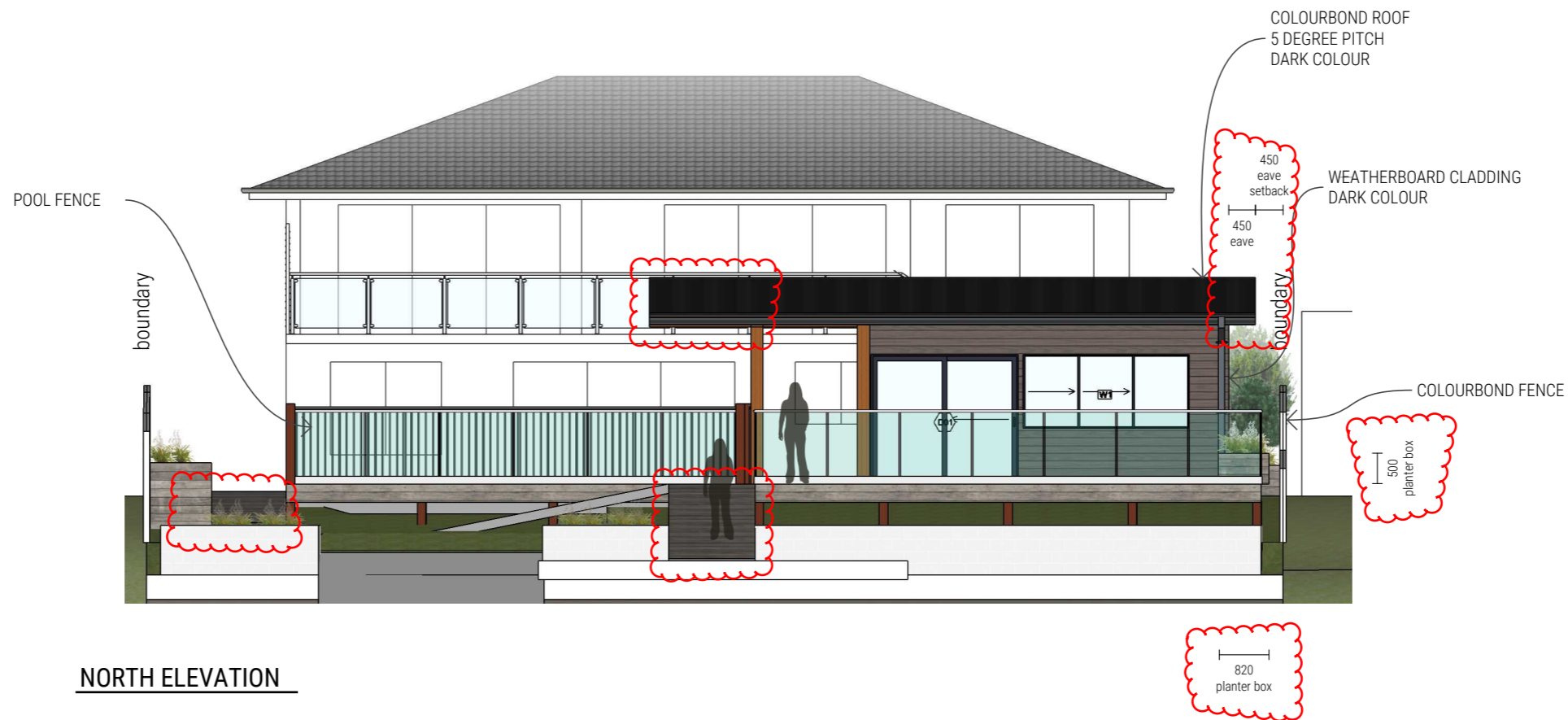


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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	LANDSCAPING PLAN	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A104	E	B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION





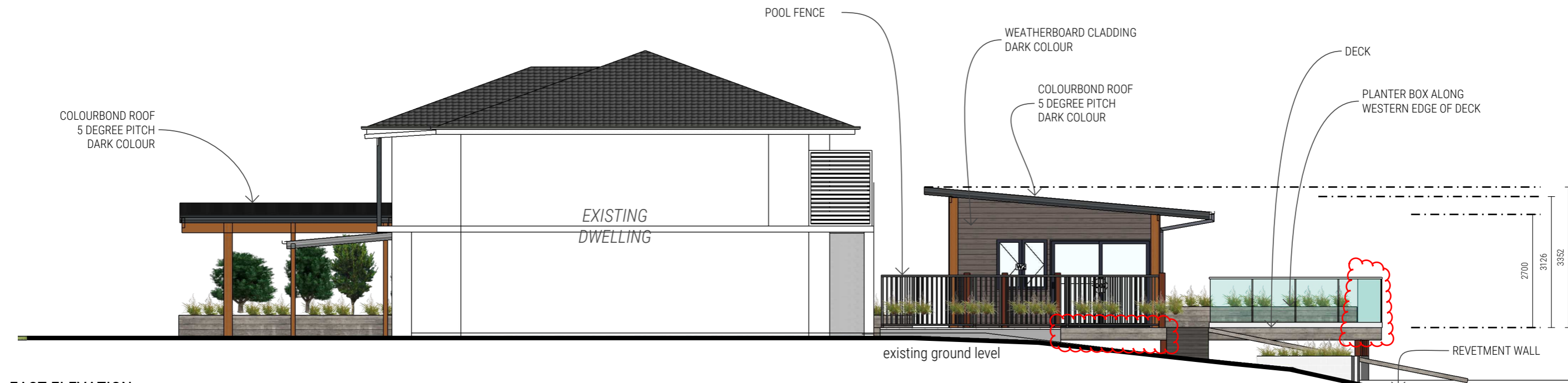
SOUTH ELEVATION



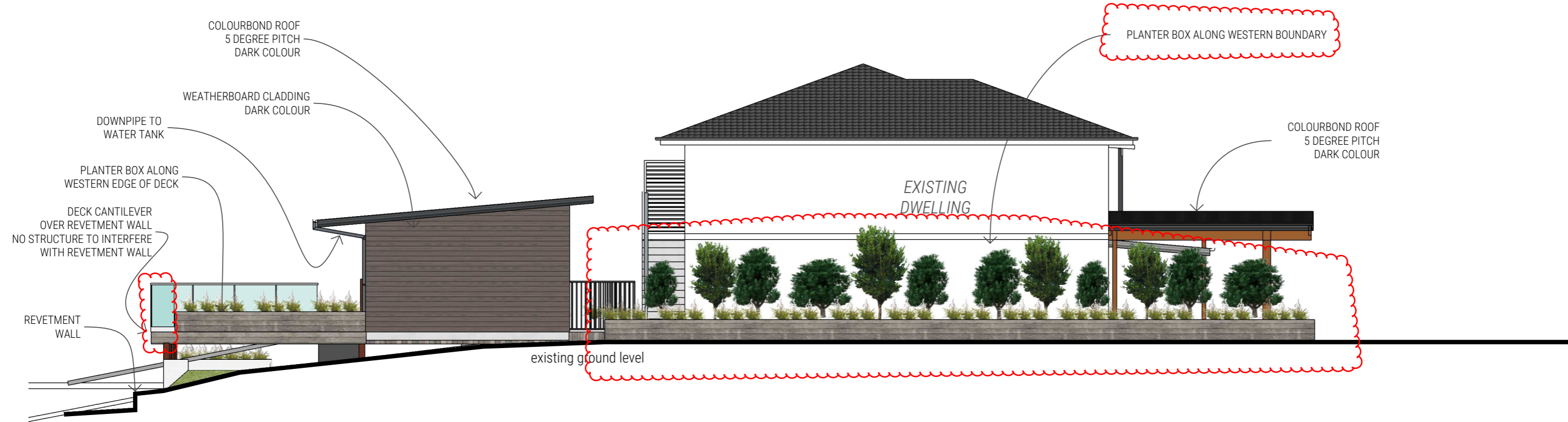
NORTH ELEVATION

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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	ELEVATIONS	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A201	E	<table border="1"> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> <tr> <td>D</td> <td>MODIFICATION</td> <td>16/2/21</td> </tr> <tr> <td>E</td> <td>LANDSCAPE PLAN, DIMS</td> <td>24/2/21</td> </tr> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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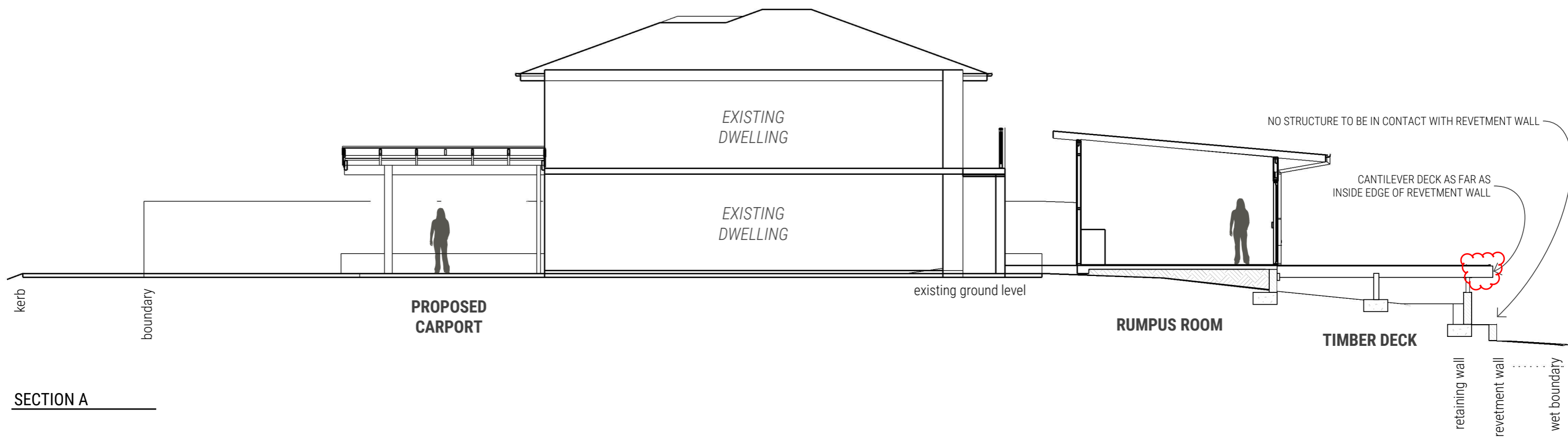


EAST ELEVATION



WEST ELEVATION

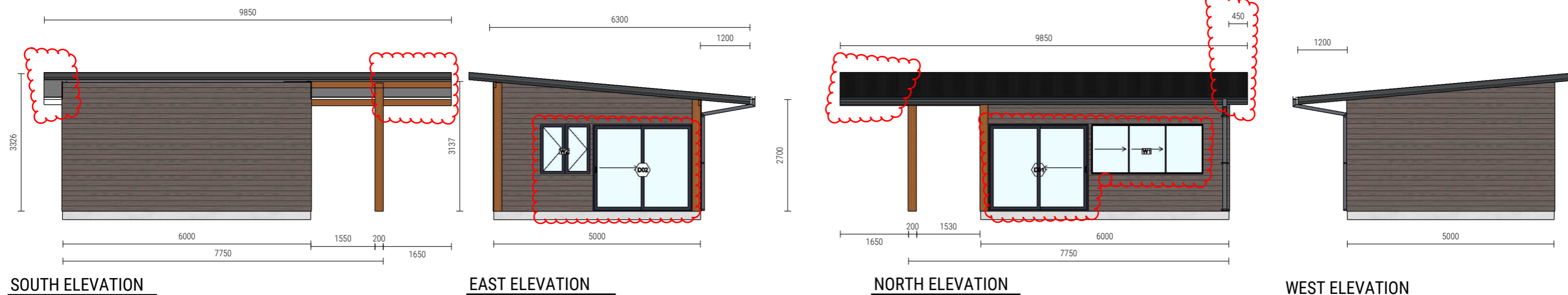
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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	ELEVATIONS	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A202	E	B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	



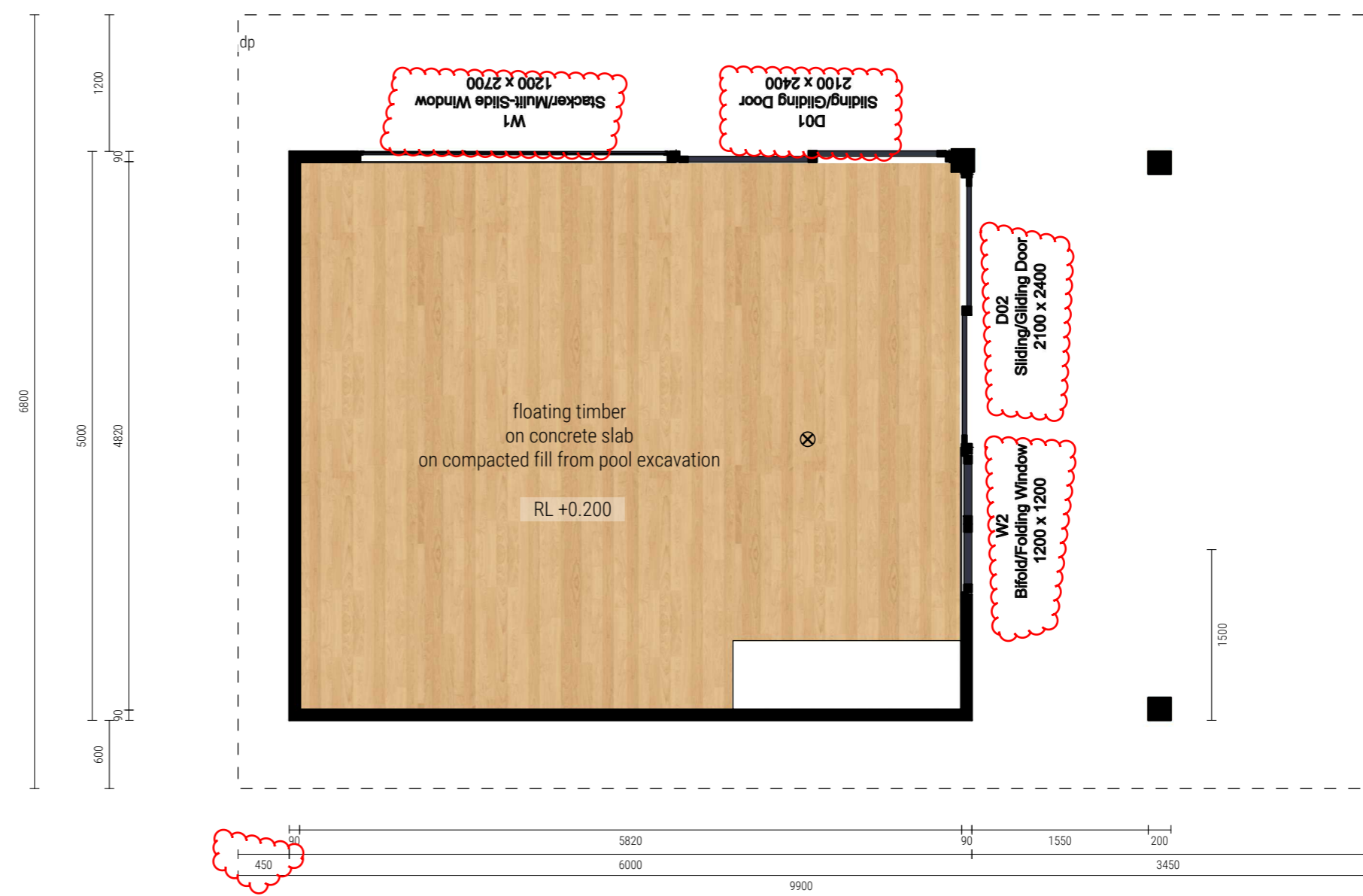
SECTION A

CLIENT	PROJECT ADDRESS	PROJECT	DRAWING TITLE	PROJECT #	DRAWN	SCALE	DOCUMENT DATE	DRAWING No.	REV.	REVISIONS	CONTACT												
KRYSTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	SECTIONS	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A301	E	<table border="1"> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> <tr> <td>D</td> <td>MODIFICATION</td> <td>16/2/21</td> </tr> <tr> <td>E</td> <td>LANDSCAPE PLAN, DIMS</td> <td>24/2/21</td> </tr> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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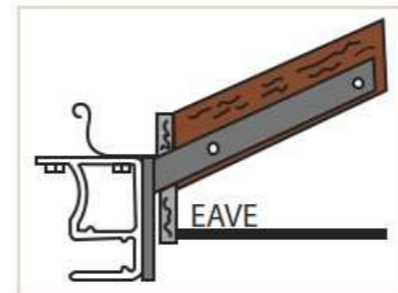
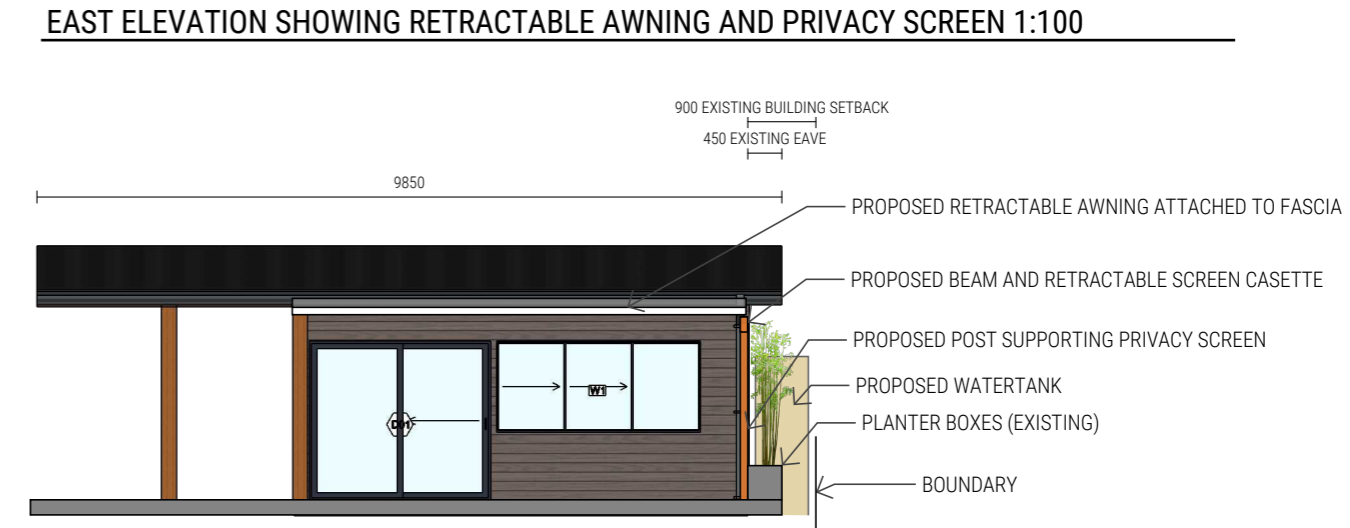
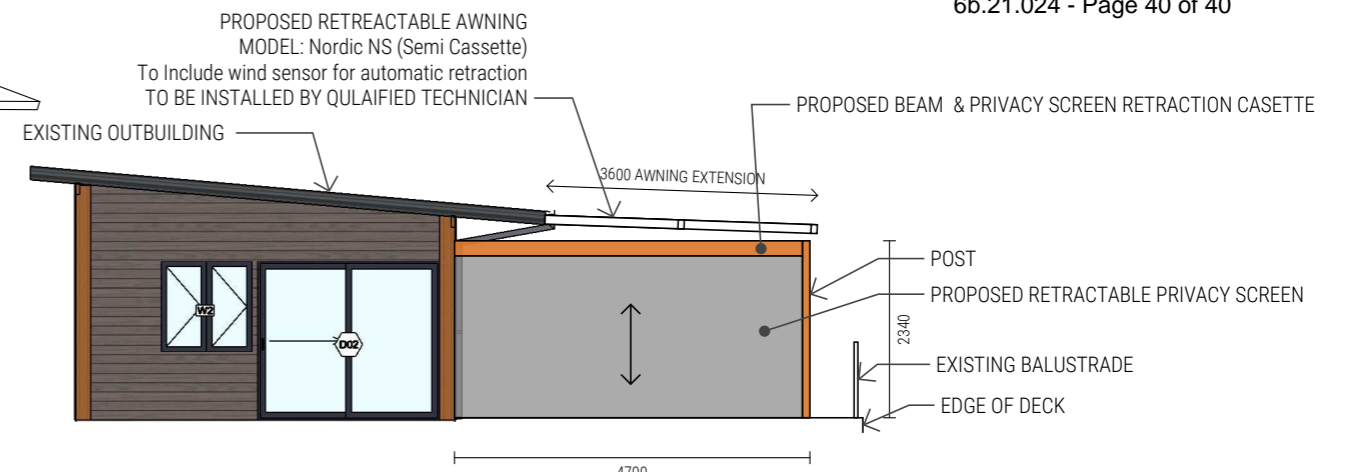
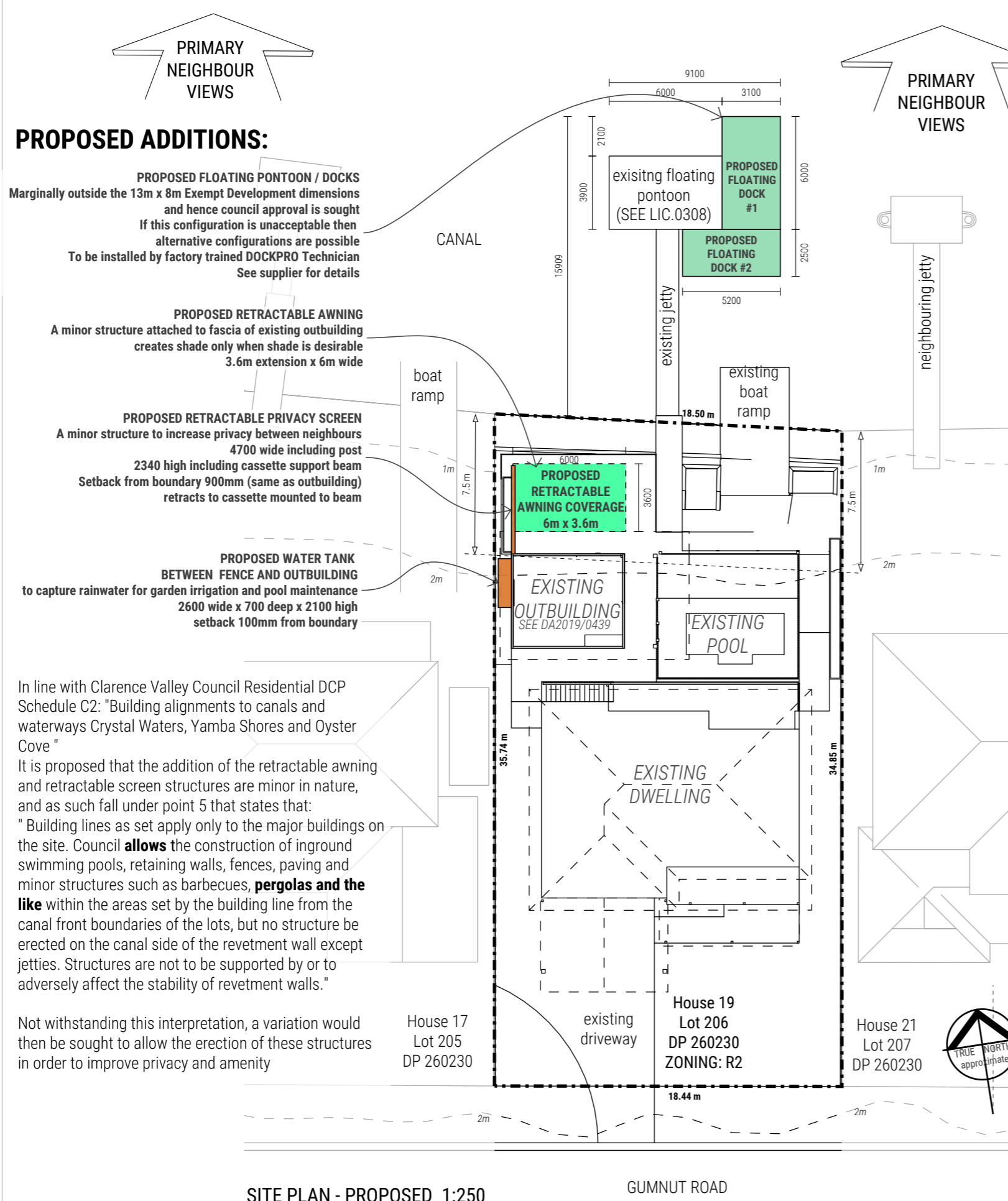
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LEGEND
 ⊗ SMOKE ALARM
 dp DOWN PIPE



CLIENT	PROJECT ADDRESS	PROJECT	DRAWING TITLE	PROJECT #	DRAWN	SCALE	DOCUMENT DATE	DRAWING No.	REV.	REVISIONS	
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3) Mounting the awning through the fascia:
This option is selected if there is minimal head clearance. A slot is made next to the roof rafter through the fascia board. This allows the bracket to slide beside the roof rafter, which is then bolted together.

METHOD OF AWNING ATTACHMENT AS PER SKILTEC FOLDING ARM AWNING INSTALLATION MANUAL

JETTY PONTOON DETAILS & DESCRIPTION	DIM 1 (m)	DIM 2 (m)	AREA m2
Existing Jetty	1.2	10	12
Existing floating pontoon	6	3.9	23.4
Proposed floating dock #1 (FloatBricks U-600 T)	3.1	6	18.6
Proposed Floating dock #2 (FloatBricks U-450)	5.2	2.5	13
Floating Dock supplied by 'DOCKPRO'			
Installation by a factory trained DOCKPRO Technician.			
See supplier technical details			

CLIENT KRISTYNA & TODD CAMPBELL	PROJECT ADDRESS 19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	PROJECT 19 Gumnut Road YAMBA	DRAWING TITLE PROPOSED ADDITIONS	PROJECT # JW301b	DRAWN JH	SCALE as shown @ A3	DOCUMENT DATE 23 / 02 / 21	DRAWING No. A001	REV. B	REVISIONS A DA ISSUE 17/2/21 B AWNING AND DOCK DETAILS 23/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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