

# 19 GUMNUT ROAD, YAMBA NSW

## ADDITIONS: RUMPUS ROOM, DECK & CARPORT

### SCOPE OF WORKS

- 1 CONSTRUCTION OF NEW CARPORT AND AWNING ATTACHED TO EXISTING DWELLING
  - 2 CONSTRUCTION OF RUMPUS ROOM AT REAR OF LOT
  - 3 CONSTRUCTION OF DECK AT REAR OF LOT
  - 4 NEW FENCE ALONG WESTERN BOUNDARY
- \* NOTE: POOL AND SURROUND TO BE APPROVED AS SEPARATE D.A.

### GENERAL NOTES

- 1 ALL DIMENSIONS & DETAILS TO BE CHECKED & VERIFIED ON SITE BY OWNER, BUILDER OR TRADESPERSON PRIOR TO CONSTRUCTION.
- 2 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 3 DIMENSIONS ARE IN MM UNLESS OTHERWISE STATED
- 4 DIMENSIONS ARE ACTUAL AND NOT NOMINAL.
- 5 DIMENSIONS ARE STRUCTURE TO STRUCTURE UNLESS OTHERWISE NOTED AND DO NOT INCLUDE INTERNAL FINISHES AND CLADDING
- 6 ALL OVERHANG DIMENSIONS SHOWN ARE FROM EXTERNAL FACE OF FRAME WORK OR GABLE FACES
- 7 EAVES OVERHANG DIMENSIONS SHOWN INCLUDE AND FASCIA (EXCLUDE GUTTERING)
- 8 IF ACTUAL CONSTRUCTION OF THE DESIGN IN THIS SET OF PLANS DIFFERS FROM THESE PLANS THE OWNER AND BUILDER TO NOTIFY DESIGNER
- 9 ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- 10 THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT CONSULTANTS DOCUMENTATION SUPPLIED
- 11 ALL FOOTINGS, SLABS, WALLS, RETAINING WALLS, STEEL, TIE-DOWN, FRAMING, BEAMS, ROOF, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER
- 12 ALL DETAILS & SPECIFICATION (EVEN IF NOT NOTED) TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (BCA), RELEVANT AUSTRALIAN STANDARDS, AND LOCAL COUNCIL BY-LAWS
- 13 IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- 14 BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 15 ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY
- 16 ALL GROUND WORKS TO BE APPROVED BY ENGINEER

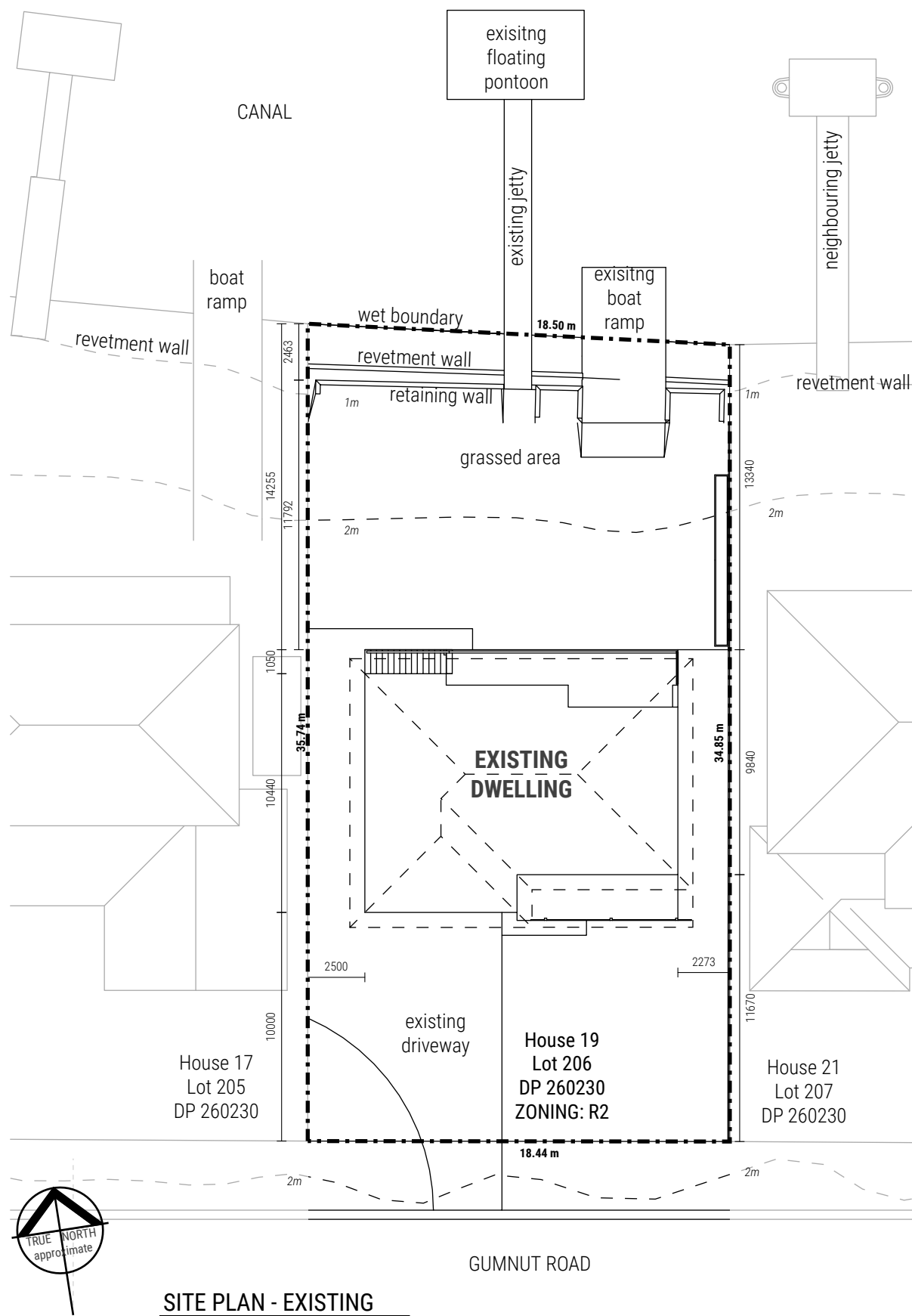


### INDEX OF DRAWINGS

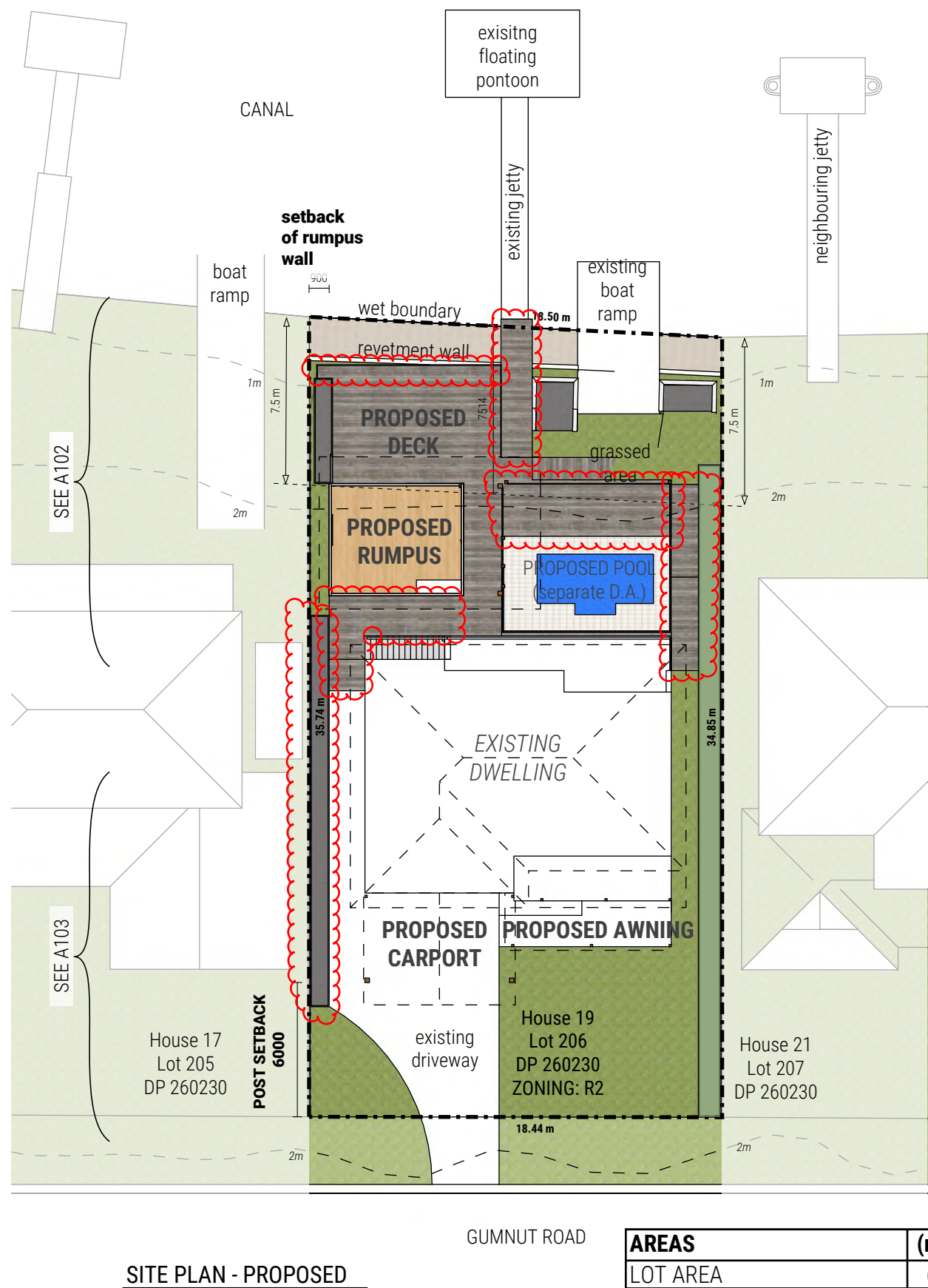
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A101	SITE PLAN	1:250
A102	PLAN - BACKYARD	1:100
A103	PLAN - FRONT YARD	1:100
A104	LANDSCAPE PLAN	1:250
A201	ELEVATIONS	1:100
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CLIENT	PROJECT ADDRESS	PROJECT	DRAWING TITLE	PROJECT #	DRAWN	SCALE	DOCUMENT DATE	DRAWING No.	REV.	REVISIONS													
KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	COVER SHEET	JW301	JH CHECK --	N/A	24 / 02 / 21	A001	E	<table border="1"> <tr><td>B</td><td>DA ISSUE</td><td>13/08/19</td></tr> <tr><td>C</td><td>AMENDMENTS FOR DA</td><td>15/11/19</td></tr> <tr><td>D</td><td>MODIFICATION</td><td>16/2/21</td></tr> <tr><td>E</td><td>LANDSCAPE PLAN, DIMS</td><td>24/2/21</td></tr> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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JWHIDA  
BUILDING DESIGN SERVICES



SITE PLAN - EXISTING



SITE PLAN - PROPOSED

AREAS	(m2)
LOT AREA	651.9
EXISTING RESIDENCE GFA	217.9
NEW RUMPUS GFA	28.1

CLIENT <b>KRYSZYNA &amp; TODD CAMPBELL</b>	PROJECT ADDRESS <b>19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230</b>	PROJECT <b>19 Gumnut Road YAMBA</b>	DRAWING TITLE <b>SITE PLAN</b>	PROJECT # <b>JW301</b>	DRAWN <b>JH</b>	SCALE <b>1:250 @ A3</b>	DOCUMENT DATE <b>24 / 02 / 21</b>	DRAWING No. <b>A101</b>	REV. <b>E</b>	REVISIONS B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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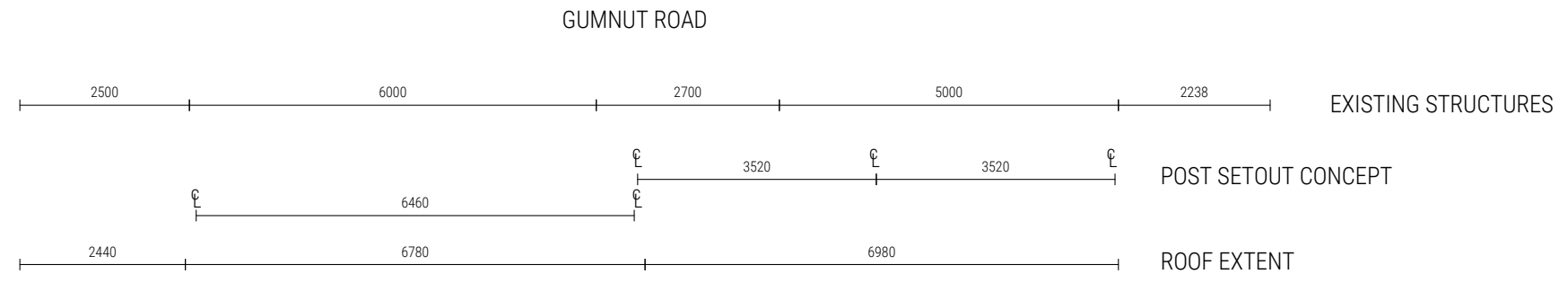
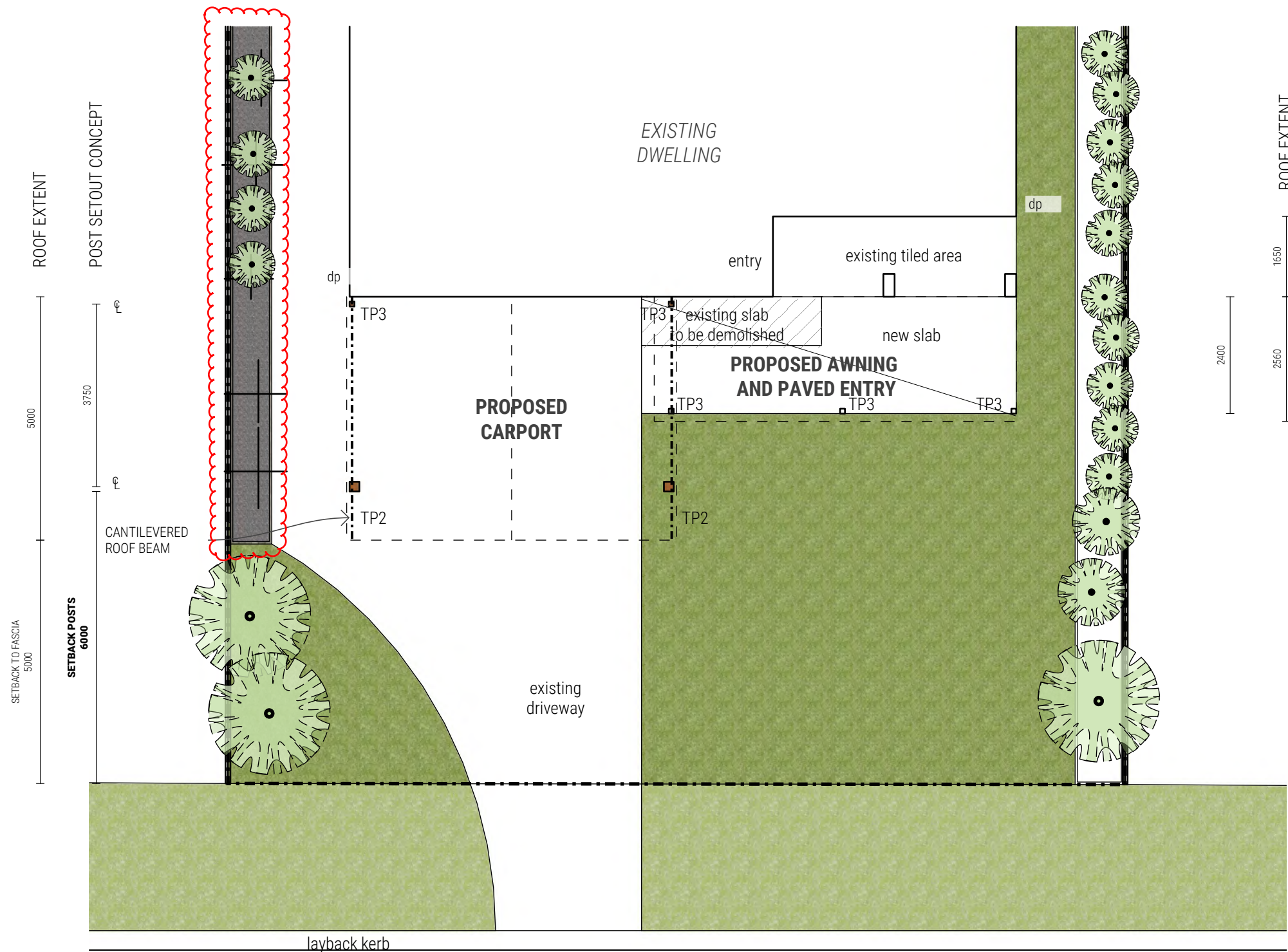
LEGEND  
 ⊗ SMOKE ALARM



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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	PLAN - BACKYARD	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A102	E	B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION



NOTE: POST LOCATIONS AS PER ENGINEERING.  
SETBACK OF POSTS FROM FRONT BOUNDARY TO BE 6m MINIMUM



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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	PLAN - FRONT YARD	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A103	E	B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19 D MODIFICATION 16/2/21 E LANDSCAPE PLAN, DIMS 24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION

	Material	Area	Area %		Landscaping %
<b>GROUND PLANE MATERIALS</b>					
	Building	164.0 m <sup>2</sup>	25%	0	0%
	Concrete slab	110.9 m <sup>2</sup>	17%	0	0%
	Decking	122.6 m <sup>2</sup>	19%	0	0%
	Grass	133.7 m <sup>2</sup>	21%	1	21%
	Planter box existing	45.2 m <sup>2</sup>	7%	1	7%
	Planter box proposed	15.5 m <sup>2</sup>	2%	1	2%
	Pool	12.3 m <sup>2</sup>	2%	0	0%
	Retaining Wall - Revetment	4.9 m <sup>2</sup>	1%	0	0%
	Tidal Area	21.9 m <sup>2</sup>	3%	0	0%
	Tiles	20.2 m <sup>2</sup>	3%	0	0%
	<b>SUB TOTAL</b>	<b>651.5</b>	<b>100%</b>		<b>30%</b>
<b>VERTICAL VEGETATION</b>					
	Significant existing trees				
	Planter boxes with significant vertical vegetation				

We seek a variation to Clause 19 of CVC DCP 2011 that sets minimum landscape requirements. The configuration of the property does not provide adequate private open spaces to the rear of the property that adjoins the canal. This rear area considered as 'landscaping' is comprised of sloping grass that is not particularly amenable to outdoor activities and does not provide much privacy. Conversion of this space to a useable private open space as proposed in the plans has the consequence of reducing the landscaping area to below that set in the DCP.

The proposed additions of landscaping in other areas of the property are aimed at compensating for some of this loss. Due to the constraints of the geometry of the existing situation the total landscaped horizontal area falls short of the minimums set in the DCP.

We seek consideration that these proposed landscaping additions and the significant existing trees at locations in the lot have a greater 'vertical' component than the 'horizontal' nature of the grass lost, and as such are not fully captured in a landscape assessment solely based on horizontal considerations.

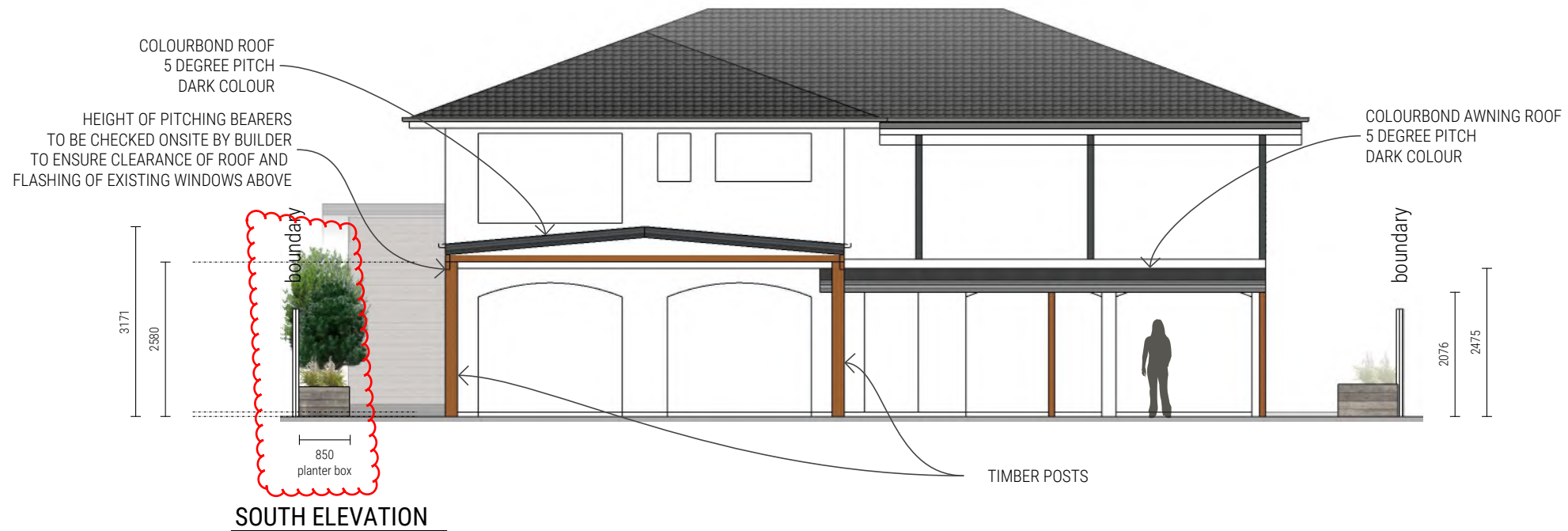
PROPOSED PLATER BOX ALONG BOUNDARY CONVERTS UNUSED CONCRETE DRIVEWAY TO LANDSCAPING LANDSCAPING EXTENDS INTO A VERTICAL PLANE

SUBSTANTIAL EXISTING TREES RETAINED

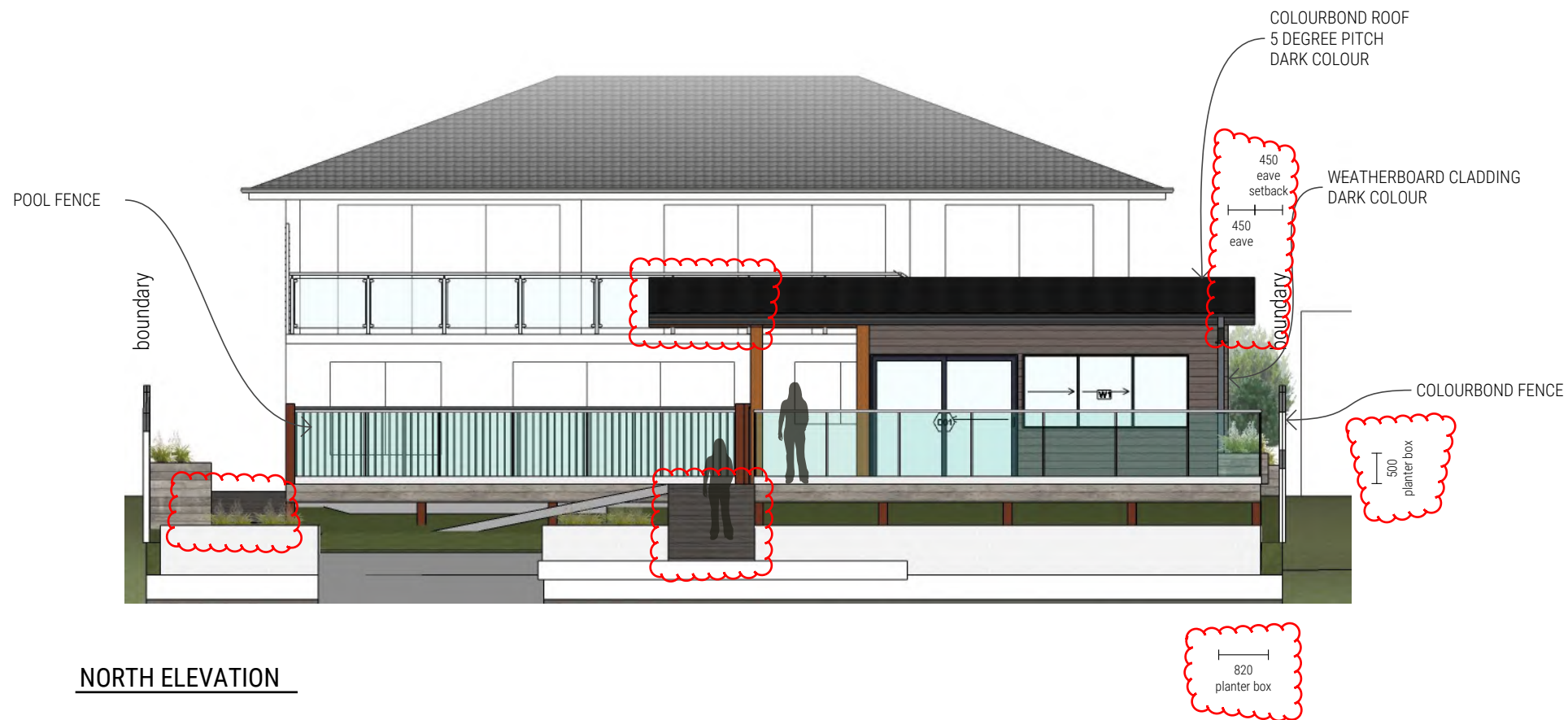


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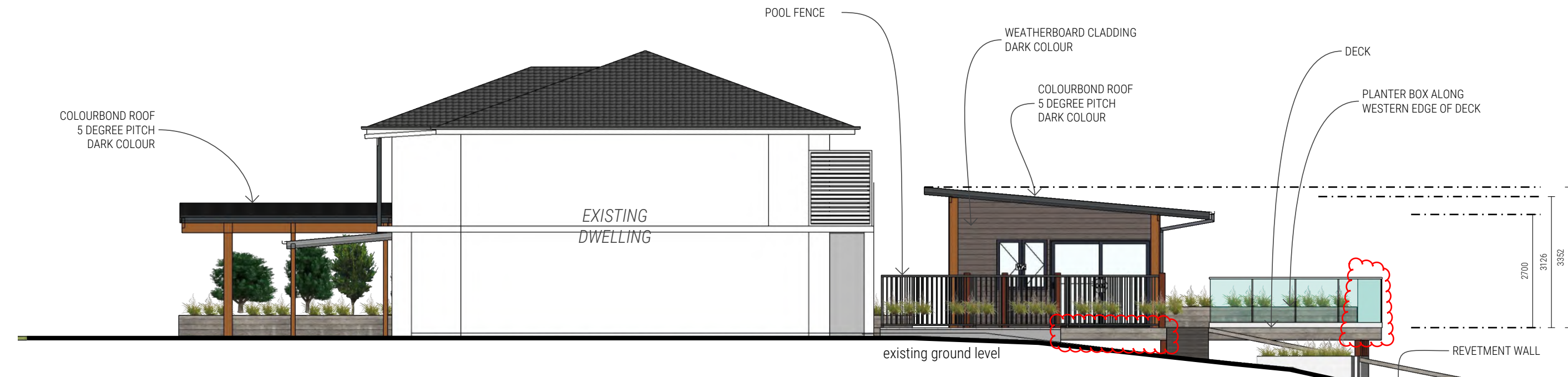
**SOUTH ELEVATION**



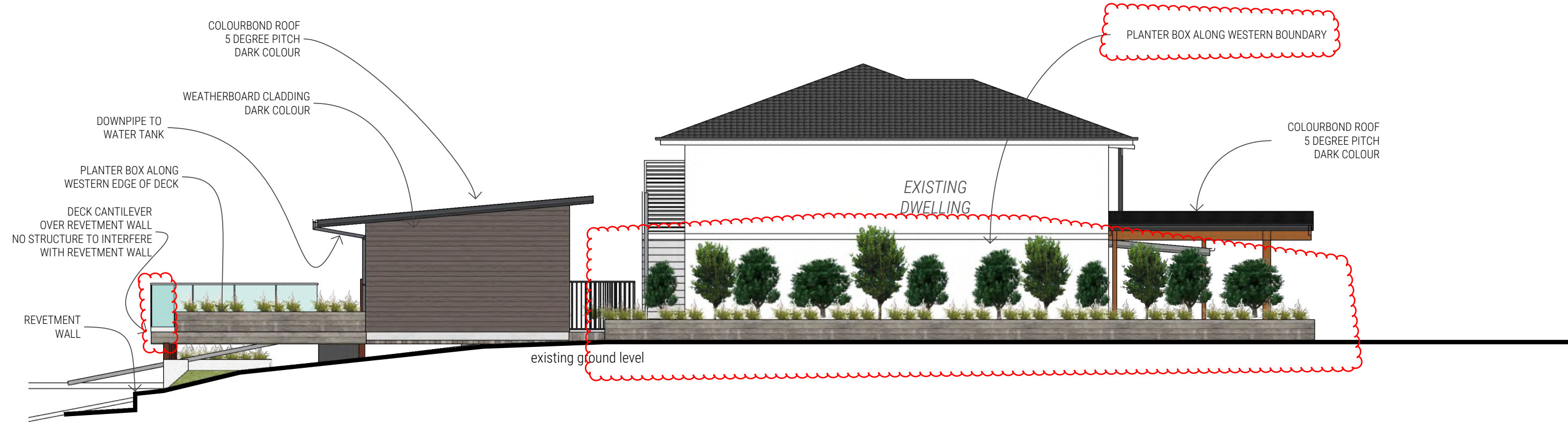
**NORTH ELEVATION**

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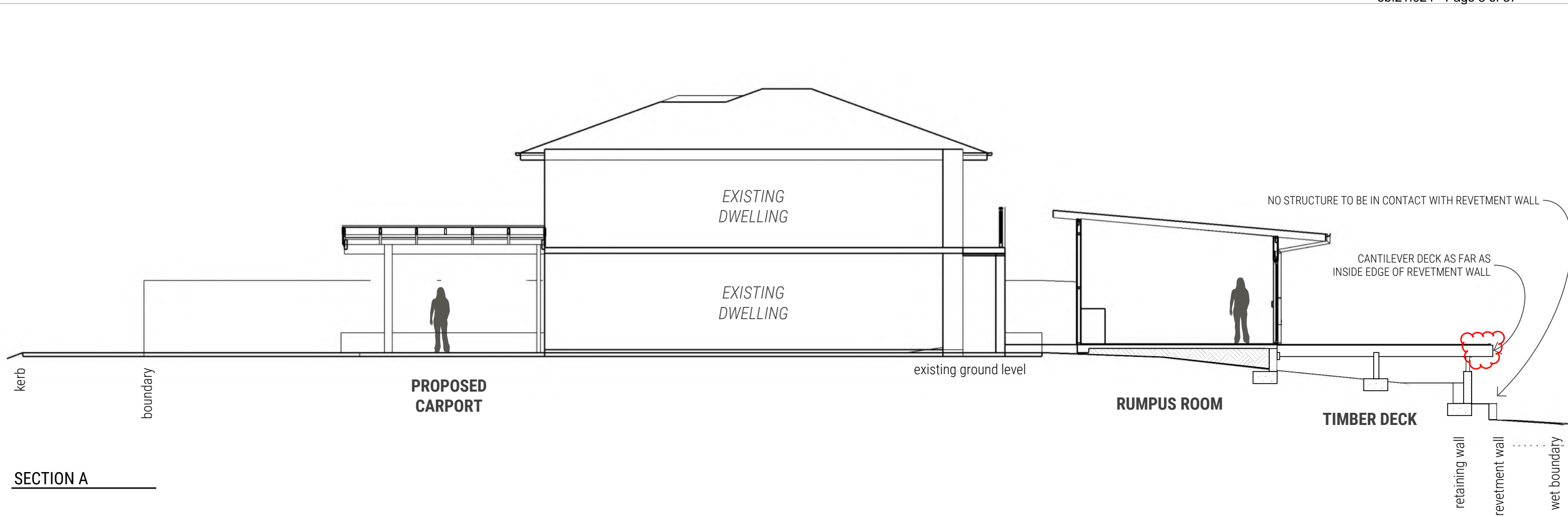


**EAST ELEVATION**



**WEST ELEVATION**

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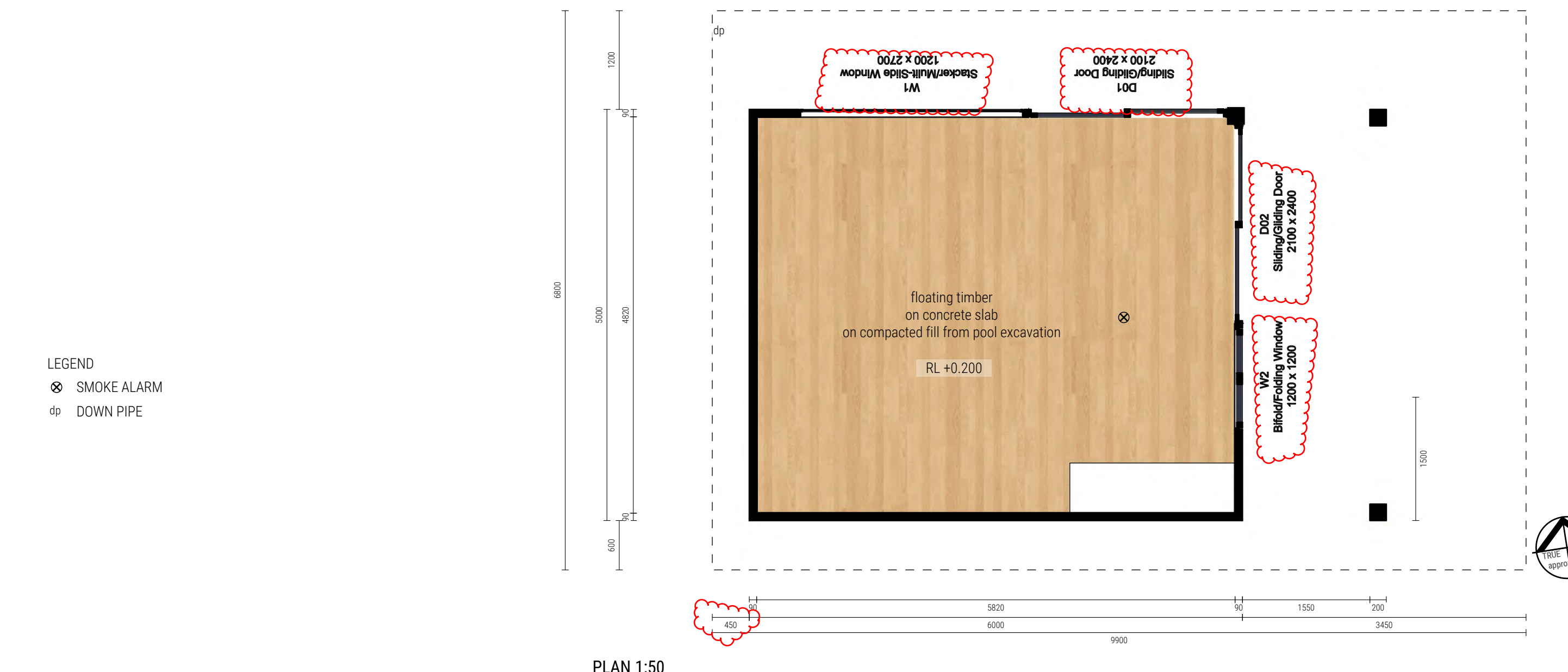
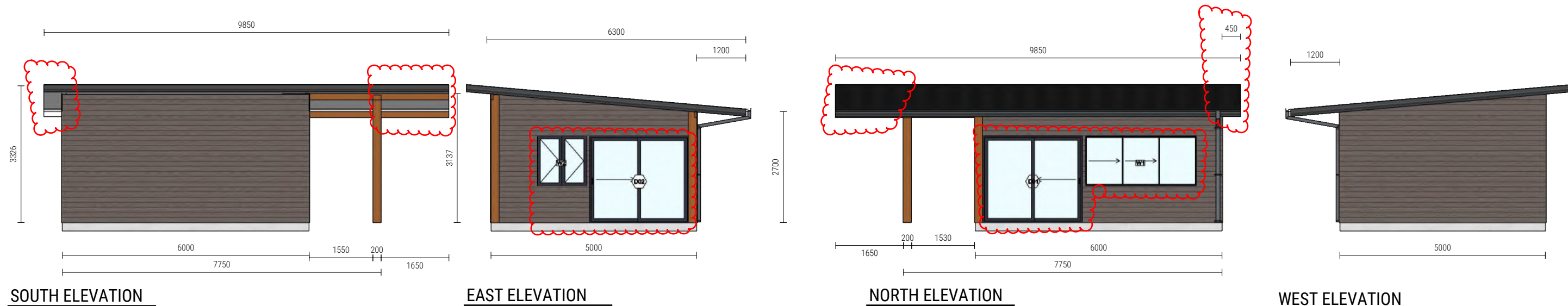


SECTION A

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**GLAZING NOTES**

- 1 ALL WINDOWS AND GLAZING TO COMPLY WITH PART 3.6.1 OF THE NCC Vol2 (BCA) AND RELEVANT AUSTRALIAN STANDARDS AS 1288 & AS 2047
- 2 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.12 OF AS 1288
- 3 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS 2047
- 4 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION

**PLUMBING NOTES**

- 1 ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH WITH THE NCC Vol3 (Plumbing Code), AND RELEVANT AUSTRALIAN STANDARDS AS 3500 & APPROVED BY COUNCIL INSPECTION
- 2 ALL DOWNPIPES TO STORAGE TANKS, OR STORMWATER

**TERMITE AND PEST CONTROL NOTES**

- 1 TERMITE PROTECTION TO NCC Vol2 (BCA) PART 3.1.3, AND RELEVANT AUSTRALIAN STANDARDS: AS3660.1 & AS3660.3, AND TO LOCAL COUNCIL REQUIREMENTS

**STAIRS NOTES**

- 1 STAIRS CONSTRUCTION TO COMPLY WITH PART 3.9.1 'STAIRWAY AND RAMP CONSTRUCTION' OF THE NCC (BCA) VOLUME 2
- 2 STAIRWAY RISER AND GOIND DIMENSIONS TO COMPLY WITH THE THE SLOPE RELATIONSHIP (2R + G) IN ACCORDANCE WITH 'Table 3.9.1.1' OF THE NCC (BCA) VOLUME 2

TABLE 3.9.1.1 RISER AND GOINGS DIMENSIONS (mm)						
STAIR TYPE	RISER (R)		GOING (G)		SLOPE RELATIONSHIP (2R + G)	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIRS (OTHER THAN SPIRAL)	190	115	355	240	700	550
SPIRAL	220	140	370	210	680	590

**BARRIERS TO PREVENT FALLS**

- 1 WHERE IT IS POSSIBLE TO FALL 1 M OR MORE MEASURED FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH, A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF A TRAFFICABLE SURFACE. THIS MAY NOT APPLY TO SOME RETAINING WALLS.
- 2 BALUSTRADE HANDRAIL TO BE A MINIMUM 1000mm HIGH AND 865mm MINIMUM FROM NOSE OF STAIRS

**EROSION & SEDIMENT CONTROL PLAN & NOTES**

- 1 ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING CUTTING AND FILLING.
- 2 ALL SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING DOWNSTREAM PROPERTIES, DRAINAGE LINES OR WATERCOURSES.
- 3 DISTURBANCE OF THE SITE MUST BE MINIMISED.
- 4 A SEDIMENT CONTROL FENCE MUST BE INSTALLED AT THE DOWNSLOPE PERIMETER OF THE DISTURBED AREA TO PREVENT SEDIEMNT & OTHER DEBRIS FROM LEAVING THE SITE. SEDIMENT FENCING IS TO BE TRENCHED IN AT LEAST 150mm AND BURIED WITH ENDS TURNED UPSLOPE. WHERE CATCHMENT AREA IS MORE THAN 0.5 HA DIRECT UP SLOPE RUNOFF AROUND THE SITE, BY THE USE OF A DIVERSION BANK OR CHANNELS. THESE DEVICES MAY REQUIRE MEASURES OF CONTROL EROSION DEPENDING ON THE VOLUME OF FLOW ANTICIPATED.
- 5 VEHICULAR ACCESS IS TO BE RESTRICTED TO ONE STABILISED ACCESS POINT WHICH IS TO BE CONSTRUCTED OF 40mm CRUSHED STONE AGGREGATE OR RECYCLED CONCRETE 150mm DEEP. 2.5 METRES WIDE & EXTEND FROM KERB LINE TO THE SLAB OR BUILDING LINE OR FOR AT LEAST 15m ON RURAL ALLOTMENTS.
- 6 STOCKPILES OF ERODIBLE MATERIALS (SAND, SOIL, SPOIL & VEGETATION) MUST BE PROTECTED BY A SEDIMENT FENCE OR BUND. IF THE STOCKPILE AREA IS PRONE TO HIGH WINDS OR IS TO BE THERE FOR A LONG TIME THEN THE STOCKPILE MUST BE COVERED.
- 7 STOCKPILE MATERIAL MUST BE STORED CLEAR OF ANY DRAINAGE LINE & WITHIN THE PROPERTY BOUNDARY.
- 8 STOCKPILES ARE NOT PERMITTED ON FOOTPATHS OR ROADS.
- 9 IMMEDIATELY FOLLOWING INSTALLATION OF THE ROOF CLADDING, ALL GUTTERING AND DOWNPIPES ARE TO BE CONNECTED TO THE STORMWATER SYSTEM. INSPECTION OF THE FRAME IS NOT TO BE ARRANGED UNTIL THIS IS COMPLETED.
- 10 ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REGULARLY MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES AN INSPECTED FOR ADEQUACY FOLLOWING ANY RAINFALL EVENT.
- 11 ALL TRENCHES WITHIN THE DEVOLPMENT SITE ARE TO BE BACKFILLED AND COMPACTED TO A LEVEL OF 75mm ABOVE ADJOINING GROUND LEVEL. THIS MAY NOT APPLY ON PUBLIC LAND, CONSULT WITH COUNCIL STAFF.
- 12 ALL DISTURBED AREAS ARE TO BE MADE EROSION RESISTANT BY REVEGETATION (IE MIN. 70% COVERAGE), TURFING OR STABILISED BY PAVING ON COMPLETION OF THE WORKS AND PRIOR TO OCCUPATION AND/OR USE OF THE BUILDING OR, ALL NECESSARY EROSION AND SEDIEMNT CONTROL DEVICES ARE TO BE LEFT IN PLACE

**CONCRETE NOTES**

- 1 NO FILL OR BACKFILL TO BE ABOVE THE FOOTING OR SLAB.
- 2 NO FILL OR BACKFILL IS TO BE AGAINST ANY STEP DOWNS.
- 3 TERMITE PROTECTION TO BE IN ACCORDANCE WITH THE AS3660-1
- 4 SLABS & FOOTINGS TO AS 2870
- 5 ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE.
- 6 REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS.
- 7 REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

**TIMBER FRAME NOTES**

- 1 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF THE N.C.C. (B.C.A.) & AS1684
- 2 ALL STRUCTUAL MEMBERS TO BE DETERMINED BY STRUCTUAL ENGINEER OR FRAMING MANUFACTURER.

**SUBFLOOR NOTES**

- 1 WHERE SUBFLOOR IN ENCLOSED, SUB-FLOOR VENTILATION PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH PART 3.4.1 OF N.C.C. (B.C.A.)
- 2 ALL BORED PIERS, CONC SLAB & STRUCTUAL MEMBERS TO BE DETERMINED BY STRUCTUAL ENGINEER.

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KRISTYNA & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	<b>NOTES, WINDOW AND DOOR SCHEDULES</b>	JW301	JH CHECK --	1:100 @ A3	24 / 02 / 21	A801	E	<table border="1"> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> <tr> <td>D</td> <td>MODIFICATION</td> <td>16/2/21</td> </tr> <tr> <td>E</td> <td>LANDSCAPE PLAN, DIMS</td> <td>24/2/21</td> </tr> </table>	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	D	MODIFICATION	16/2/21	E	LANDSCAPE PLAN, DIMS	24/2/21	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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25 November 2019

Reference:MD19/0439  
Contact:Scott Whitehouse:DB  
Your Reference: N/AT B Campbell  
PO Box 355  
YAMBA NSW 2464**NOTICE OF DETERMINATION OF APPLICATION**

Pursuant to Section 4.18(1)(a) of the Environmental Planning and Assessment Act, 1979

**Application No:** DA2019/0439  
**Applicant:** Todd Brenton Campbell  
**Owner:** Krystyna Marie Campbell & Todd Brenton Campbell  
**Property Address:** 19 Gumnut Road YAMBA NSW 2464  
**Legal Description:** Lot 206 DP 260230  
**Development Proposal:** Studio, deck, carport & awning

**DEVELOPMENT CONSENT**

Notice is given that Council has considered your application for the subject development. The determination of the application is an “**operational**” consent.

**The Development Application has been determined by:**

Consenting to the development with conditions.

**Determination of the application was made:**

Under delegated authority of the Building Surveyor

**Determination Date:**

25 November 2019

**Approved Plans and Documentation**

THE DEVELOPMENT SHALL COMPLY WITH THE PLANS LODGED WITH THE APPLICATION AND AS MAY BE AMENDED BY THE FOLLOWING CONDITIONS OF CONSENT AND/OR BY AMENDED PLANS AND DETAILS.

Consent No: DA2019/0439  
Consent Validation Date: 25 November 2019  
Page 1 of 8

## Definitions

**Applicant** means Todd Brenton Campbell or any party acting upon this consent.

## Advice to Applicant

Council in determining the subject application requests you to take note of the following advice and where pertinent to convey the advice to future owners or tenants:

All building and construction work, which includes subdivision and civil works, which cost \$25,000 or more require the payment of the long service levy prior to a construction certificate being issued. The levy is required under the Building and Construction Industry Long Service Payments Act, 1986. Value of works must be included on Construction Certificate Application form.

If the premises requires or requests a larger water meter then the appropriate fee in Council's Fees and Charges will be applicable, less any capital contributions paid to date.

1. No construction is to be commenced until a Construction Certificate has been issued.
2. Prior to work commencing on a development the applicant must give notice to Council of their intention to commence work. Such notice shall be in the form of a Notice of Commencement form and must be submitted to Council at least two (2) business days before work commences.
3. The following information shall be submitted to the Council or Principal Certifying Authority prior to issue of a Construction Certificate:
  - a Home Building Compensation Fund (HBCF) Insurance Certificate or copy of the Owner Builder permit
  - b Complete set of engineering details including flooding
  - c The name and licence number of the builder (if not carrying out the work as an owner builder)
4. Metal building components installed in coastal locations shall have corrosion protection measures complying with the Building Code of Australia. This applies to brick wall ties, steel framing, fixings and metal sheet roofing in locations within 10km of breaking surf or 1km of salt water not subject to breaking surf. Higher standards apply the closer the location is to breaking surf.
5. Demolition work is to be carried out in accordance with AS 2601.



6. A safety balustrade shall be provided in accordance with Clause 3.9.2 of the Building Code of Australia (BCA) to all landings, balconies and stairways with a height of one (1) metre above ground level. The balustrade is to be constructed in such a manner that a 125mm sphere is not able to pass through it at any point. Wire balustrade systems shall comply with the requirements of Clause 3.9.2.3(f) of the BCA. The height must not be less than-
  - a 1m above the floor of any path, balcony, landing or the like; or
  - b 865mm above the nosing of stair treads or the floor of a ramp.
7. All glazing is to be selected and installed in accordance with the provisions of AS 1288 or AS 2047. Upon completion of the building and prior to its occupation, the glass suppliers/installers certificate is to be submitted to Council.
8. A smoke alarm system designed to ensure the occupants are given adequate warning so they can evacuate the building in an emergency, and complying with Part 3.7.2 of the Building Code of Australia shall be installed. Smoke alarms must be interconnected where there is more than one alarm. A licensed electrical contractor's installation certificate is to be submitted to Council prior to occupation.
9. The dwelling floor shall be treated and maintained against termites in accordance with AS 3660.1.
  - a Upon installation of the method of treatment a Certificate shall be issued to Council by the licensed installer of the system certifying that the system installed is in accordance with AS 3660.1.
  - b A durable notice must be permanently fixed to the building in the electricity meter box indicating:
    - i the method of protection;
    - ii the date of installation of the system;
    - iii where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label;
    - iv the need to maintain and inspect the system on a regular basis.

### **Conditions of Consent**

1. The development being completed in conformity with the Environmental Planning & Assessment Act, 1979, the Regulations thereunder, the Building Code of Australia (BCA) and being generally in accordance with plan(s) numbered JW301 dated 15/11/, (19) sheets, drawn by JWDIDA Building Design Services, as amended in red, or where modified by any conditions of this consent.

2. **Adjoining Building Work** A person who causes an excavation that extends below the level of the base of the footings of a building on an adjoining allotment of land shall, at their own expense and where necessary:
- a Preserve and protect the building from damage; and
  - b If necessary, underpin and support the building in an approved manner, details of which are to be submitted with the application for the Construction Certificate and certified by a professional engineer or an accredited certifier.

The person who causes this excavation must, at least seven (7) days before commencing this work, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars to this owner of the proposed work. (Note: An adjoining allotment of land includes a public road and any other public place. A building includes a fence).

3. Prior to any work commencing involving the disturbance or removal of any asbestos materials the principal contractor shall give two days written notice to the owner or occupier of any dwelling within 20m of the development site of his intention to carry out the work.
4. The demolition, removal, storage, handling and disposal of products and materials containing asbestos must be carried out in accordance with Clarence Valley Council's Asbestos Policy, the relevant requirements of SafeWork.
- a Work Health and Safety Act 2011 and associated regulations
  - b SafeWork NSW Code of Practice - How to Safety remove Asbestos.
  - c Australian Standard 2601 (2001) - Demolition of Structures
  - d The Protection of the Environment Operations Act 1997 and Protection of the Environment Operations (Waste) Regulation 1996.

A copy of Council's Asbestos Policy is available on Council's web site at [www.clarence.nsw.gov.au](http://www.clarence.nsw.gov.au) or a copy can be obtained from Council's Customer Service Centres.

5. On demolition sites involving the removal of asbestos, a professionally manufactured sign must be clearly displayed in a prominent visible position at the front of the site, containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" and include details of the licensed contractor. The sign shall measure not less than 400mm x 300mm and the sign is to be installed prior to demolition work commencing and is to remain in place until such time as all asbestos has been safely removed from the site.
6. The building shall not be used as flats or adapted for separate occupation.
7. No portion of the deck is to be enclosed without prior written approval being obtained from Council.



8. A suitable enclosure shall be provided on site, during construction, for depositing waste materials that could become wind blown. Waste materials shall be disposed of to an approved recycling service or waste depot. No burning of waste materials shall occur.
9. All building work shall be constructed wholly within the boundaries of the property. The location of the rear northern boundary shall be verified by a registered surveyor prior to construction commencing. A copy of this survey shall be submitted to Council at the footing/slab inspection.
10. Roof water, including overflow from a tank, is to be discharged into the most appropriate street gutter. Provide non breakable fittings where the stormwater pipe meets the kerb. Where the gutter is unformed, concrete protection is to be provided to the end of the pipe.
11. The waste management plan submitted with this application shall be complied with during demolition/construction work and all measures required for the ongoing use of waste management facilities in the development shall be in place prior to the issue of the Occupation Certificate.
12. All erosion and sediment control measures are to be installed and maintained in accordance with the Statement for Sediment and Erosion Control that was submitted with the Development Application.
13. Fencing is not part of this approval.
14. All structures located within the 7.5 metre rear building alignment shall not exceed 1.2 metres in height from existing ground level.
15. All construction below 2.9 metres AHD shall be of flood compatible building components in accordance with Councils Residential DCP.
16. All proposed landscaping shall be completed prior to requesting a final inspection.
17. External and internal lighting from the studio shall be provided in a manner that avoids light spillage onto adjoining and surrounding properties within the general bay area.
18. The minimum side setback for the proposed rear deck shall be 900mm.
19. The maximum size studio eave on the western elevation with a 900mm wall setback shall be 450mm.
20. The proposed studio shall have a minimum rear setback of 7.5 metres.
21. **Working/Construction Hours** Working hours on the construction project being limited to the following:

**7.00 am to 6.00 pm 6 days per week No work permitted on Sundays and public holidays**

The builder to be responsible to instruct and control sub contractors regarding the hours of work and the requirements of the Protection of the Environment Operations Act 1997 and Regulations.

22. **Mandatory Inspections** The head contractor or owner-builder must give Council as the certifying authority at least 24 hours notice to enable the following inspections to be performed at the appropriate time:
- a **Pier holes** (if any), before concrete is poured,
  - b **Footings**, with reinforcement in place before pouring of concrete,
  - c After reinforcement is in positions and before pouring of any **in-situ reinforced concrete** building element,
  - d Before internal covering/lining of the **framework** for any floor, wall, roof, or other building element,
  - e Before covering any **stormwater drainage** connections,
  - f After the **building work has been completed** and prior to occupation.

If any of these inspections are not performed an Occupation Certificate cannot be issued for the building. Inspection bookings can be made online at [www.clarence.nsw.gov.au](http://www.clarence.nsw.gov.au) until midnight on the day before the inspection or by calling Council on 02 6643 0200 during office hours. The Development Application number must be provided when booking an inspection.

23. Imported fill shall not come from a contaminated source. Any imported fill shall be free of building and other demolition waste and only contain virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 of the *Protection of the Environment Operations Act 1999*, excavated natural material or the relevant waste resource recovery exemption from the NSW Environment Protection Authority (EPA). Written details of the source of fill shall be submitted to Council prior to fill being imported to the site.
24. The filling of the site is not to adversely affect adjacent properties or local drainage patterns. Provision is to be made for the free passage of surface stormwater away from affected sites.
25. To meet Council's Floodplain Management Controls the floor level of the primary habitable floor level is to be a minimum of 2.9 metres Australian Height Datum (AHD). A certificate indicating the height of habitable floors on the ground floor (related to AHD) is to be forwarded to the Principal Certifying Authority:
- a In the case of timber floors, on completion of the floor framing;
  - b In the case of concrete slabs when formwork is in place but prior to pouring concrete.

This certificate is to be provided by a Registered Surveyor. No further work is to be carried out on the building until such certificate is provided to the Principal Certifying Authority.



26. The building shall comply with the Australian Building Codes Board Standard for Construction of Buildings in Flood Hazard Areas. A Structural Engineers certificate shall be submitted prior to issue of the construction certificate to verify the building will withstand the likely forces imposed on it by a 1:100 year flood event including hydrostatic, hydrodynamic, debris, wave, erosion and scour actions.
27. The development is not to be occupied or used until such time as an Occupation Certificate has been issued.
28. The roof covering is to be of a colour which does not produce glare which adversely affects the amenity of adjoining properties. White colorbond, galvanised iron and zincalume are not permitted.
29. Prior to commencement of works, a sign must be erected in a prominent position on any work site on which work is being carried out:
  - a Stating that unauthorised entry to the work site is prohibited;
  - b Showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside of working hours, and
  - c Showing the name, address and telephone number of the principal certifying authority for the work.

Any such sign is to be removed when the work has been completed.

30. **Site Safety Management** Building equipment and/or materials shall be contained wholly within the site and shall not be stored or operated on the footpath or roadway, unless specific written approval has been obtained from Council beforehand.

All excavations and back filling associated with the erection and demolition of a building must be executed safely and in accordance with appropriate professional standards and must be properly guarded and protected to prevent them from being dangerous to life or property.

### Reasons

1. To ensure that the development complies with Council's Local Environmental Plans and any Development Control Plan(s) that may be applicable to the proposed development.
2. To ensure that the surrounding environment is not detrimentally affected as a result of the development.
3. To comply with legislative requirements.
4. To ensure works are completed to an appropriate standard and documented.

## **Right of Appeal and Validity of Consent**

Section 8.2 of the Act provides that you may request a review of your determination by Council. The review must be requested within 6 months of the date of this notice and must be accompanied by the prescribed fee.

Section 8.7 of the Act provides that you have a right of appeal to the Land and Environment Court against Council's decision in the matter, exercisable within 6 months after receipt of this notice.

Consent becomes effective from the consent validation date. Section 4.53 of the Act provides for the period of validity of consent, and it is the applicant's responsibility to ensure that commencement of the development is carried out within the prescribed period. The consent period for this application will be five (5) years.

If you require further information in regard to this notice of determination please contact Scott Whitehouse of Council's Environment, Development and Strategic Planning Services section on 02 6645 0245.

Yours faithfully



Scott Whitehouse  
Senior Building Surveyor  
BPB Accreditation BPB1071



# 19 GUMNUT ROAD, YAMBA NSW

## ADDITIONS: RUMPUS ROOM, DECK & CARPORT

### SCOPE OF WORKS

- 1 CONSTRUCTION OF NEW CARPORT AND AWNING ATTACHED TO EXISTING DWELLING
- 2 CONSTRUCTION OF RUMPUS ROOM AT REAR OF LOT
- 3 CONSTRUCTION OF DECK AT REAR OF LOT
- 4 NEW FENCE ALONG WESTERN BOUNDARY
- \* NOTE: POOL AND SURROUND TO BE APPROVED AS SEPARATE D.A.

### GENERAL NOTES

- 1 ALL DIMENSIONS & DETAILS TO BE CHECKED & VERIFIED ON SITE BY OWNER, BUILDER OR TRADESPERSON PRIOR TO CONSTRUCTION.
- 2 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 3 DIMENSIONS ARE IN MM UNLESS OTHERWISE STATED
- 4 DIMENSIONS ARE ACTUAL AND NOT NOMINAL.
- 5 DIMENSIONS ARE STRUCTURE TO STRUCTURE UNLESS OTHERWISE NOTED AND DO NOT INCLUDE INTERNAL FINISHES AND CLADDING
- 6 ALL OVERHANG DIMENSIONS SHOWN ARE FROM EXTERNAL FACE OF FRAME WORK OR GABLE FACES
- 7 EAVES OVERHANG DIMENSIONS SHOWN INCLUDE AND FASCIA (EXCLUDE GUTTERING)
- 8 IF ACTUAL CONSTRUCTION OF THE DESIGN IN THIS SET OF PLANS DIFFERS FROM THESE PLANS THE OWNER AND BUILDER TO NOTIFY DESIGNER
- 9 ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- 10 THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT CONSULTANTS DOCUMENTATION SUPPLIED
- 11 ALL FOOTINGS, SLABS, WALLS, RETAINING WALLS, STEEL, TIE-DOWN, FRAMING, BEAMS, ROOF, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER
- 12 ALL DETAILS & SPECIFICATION (EVEN IF NOT NOTED) TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (BCA), RELEVANT AUSTRALIAN STANDARDS, AND LOCAL COUNCIL BY-LAWS
- 13 IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- 14 BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 15 ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY
- 16 ALL GROUND WORKS TO BE APPROVED BY ENGINEER



**CLARENCE VALLEY COUNCIL  
APPROVAL**

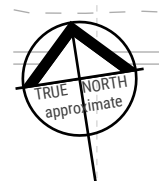
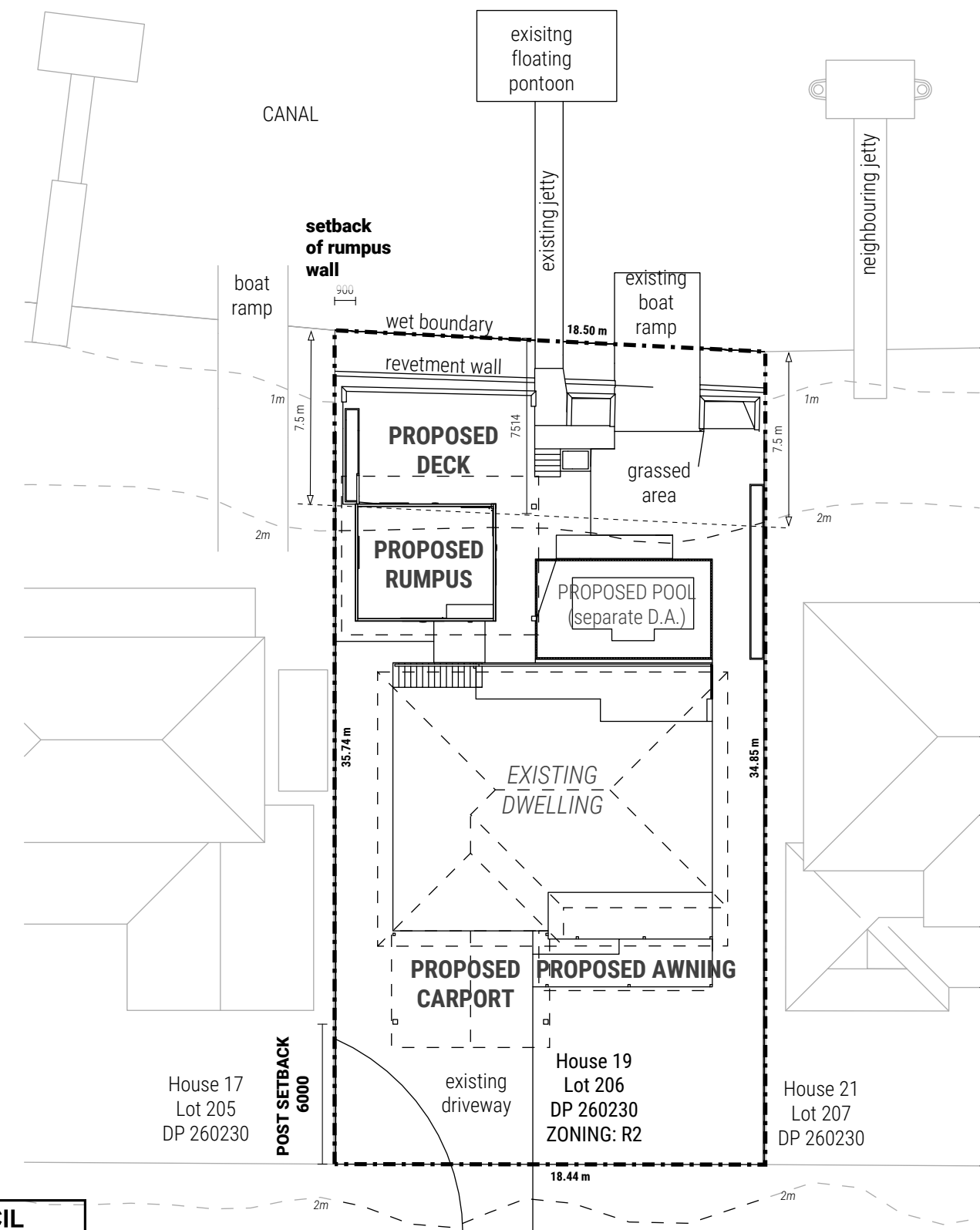
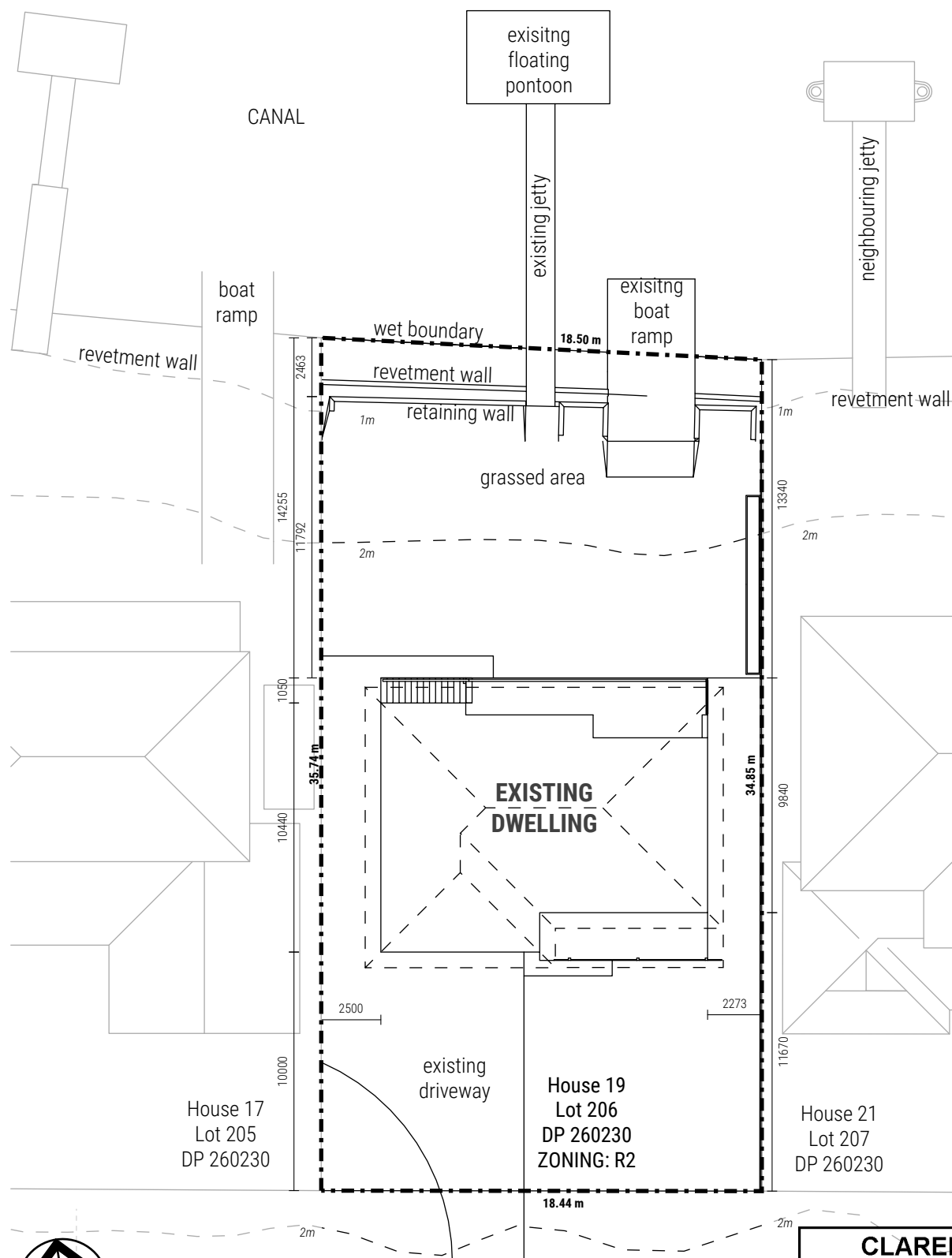
**This is the plan referred to in Council's  
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**Date: 25/11/2019**

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A201	ELEVATIONS	1:100
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A907	PERSPECTIVES	--
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SITE PLAN - EXISTING

SITE PLAN - PROPOSED

**CLARENCE VALLEY COUNCIL  
APPROVAL**

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AREAS	(m2)
LOT AREA	651.9
EXISTING RESIDENCE GFA	217.9
NEW RUMPUS GFA	28.1

CLIENT <b>KRYSY &amp; TODD CAMPBELL</b>	PROJECT ADDRESS <b>19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230</b>	PROJECT <b>19 Gumnut Road YAMBA</b>	DRAWING TITLE <b>SITE PLAN</b>	PROJECT # <b>JW301</b>	DRAWN <b>JH</b>	SCALE <b>1:250 @ A3</b>	DOCUMENT DATE <b>15 / 11 / 19</b>	DRAWING No. <b>A101</b>	REV. <b>C</b>	REVISIONS A PRELIMINARY 07/08/19 B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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LEGEND  
⊗ SMOKE ALARM



**CLARENCE VALLEY COUNCIL  
APPROVAL**

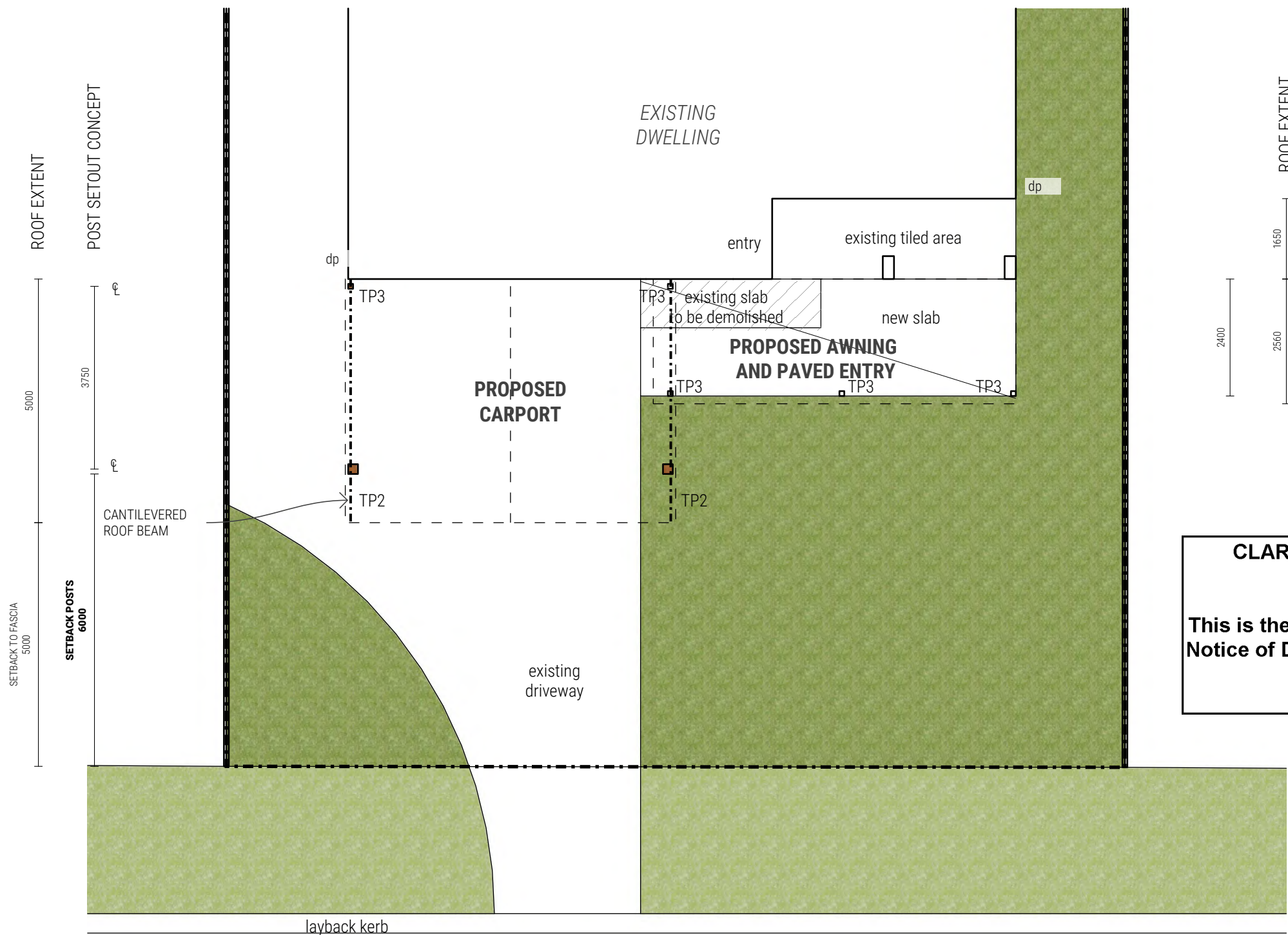
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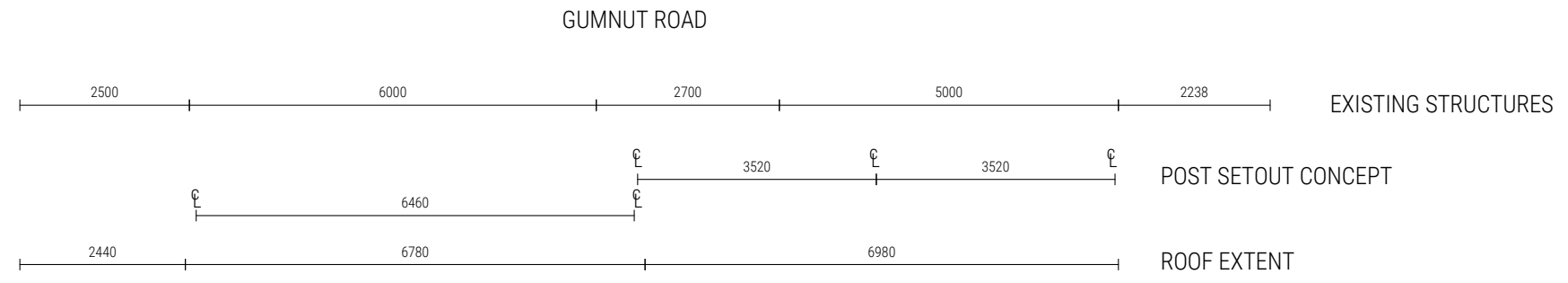
NOTE: POST LOCATIONS AS PER ENGINEERING.  
SETBACK OF POSTS FROM FRONT BOUNDARY TO BE 6m MINIMUM



**CLARENCE VALLEY COUNCIL  
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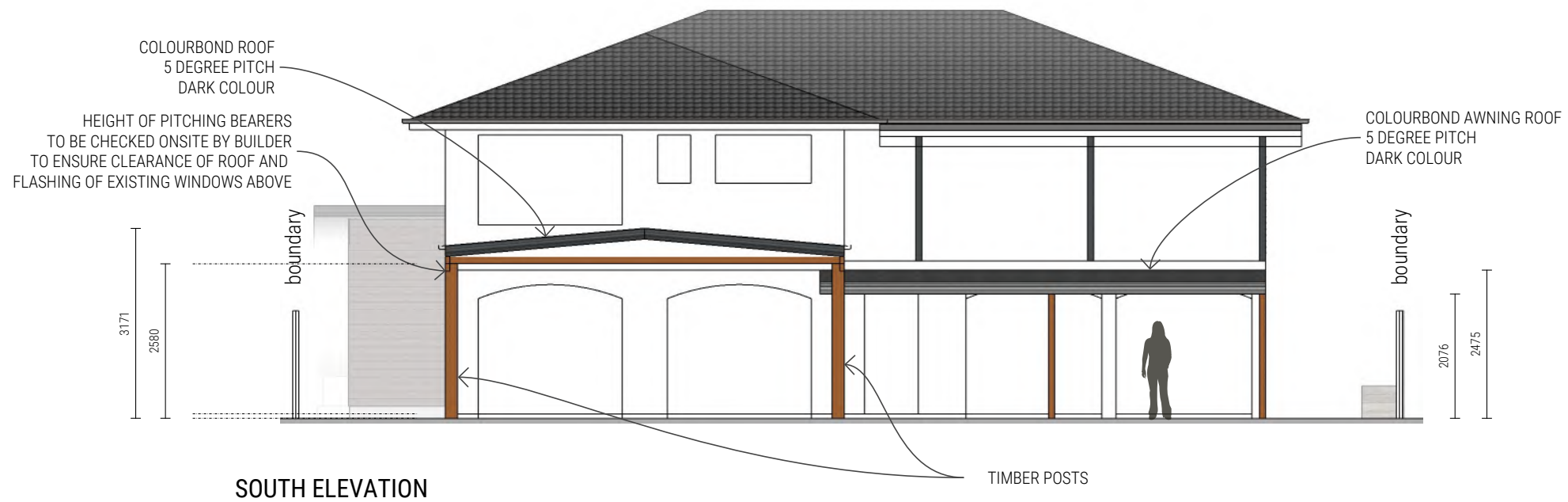
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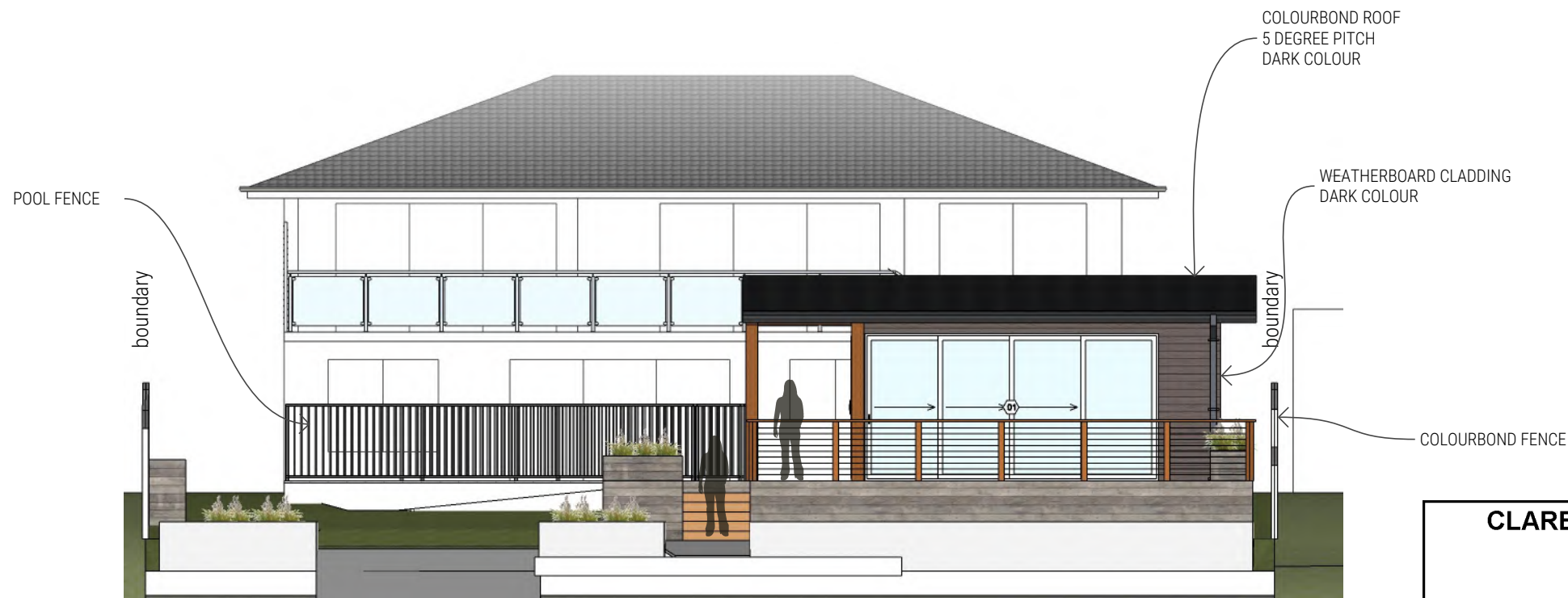


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**SOUTH ELEVATION**



**NORTH ELEVATION**

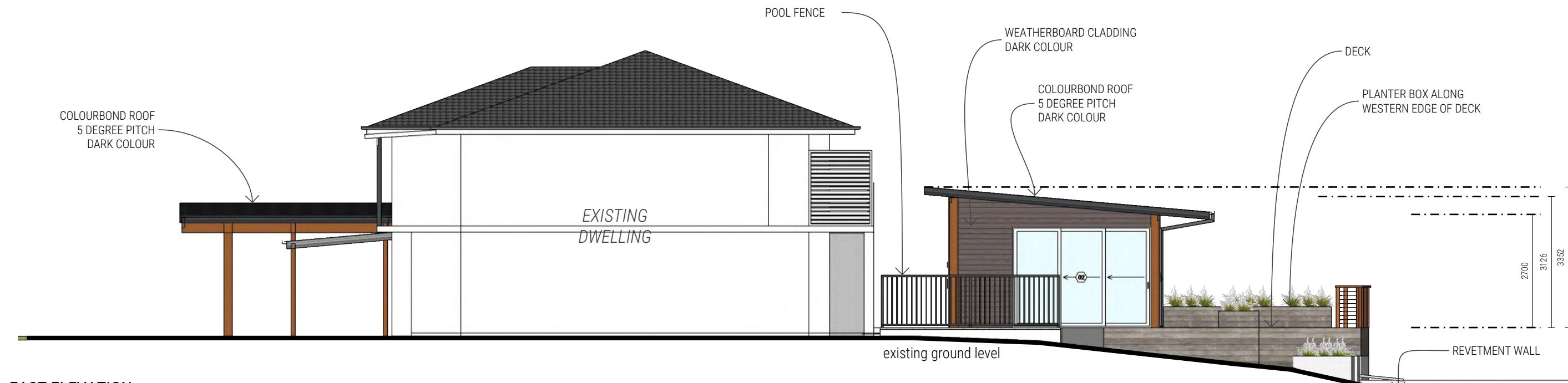
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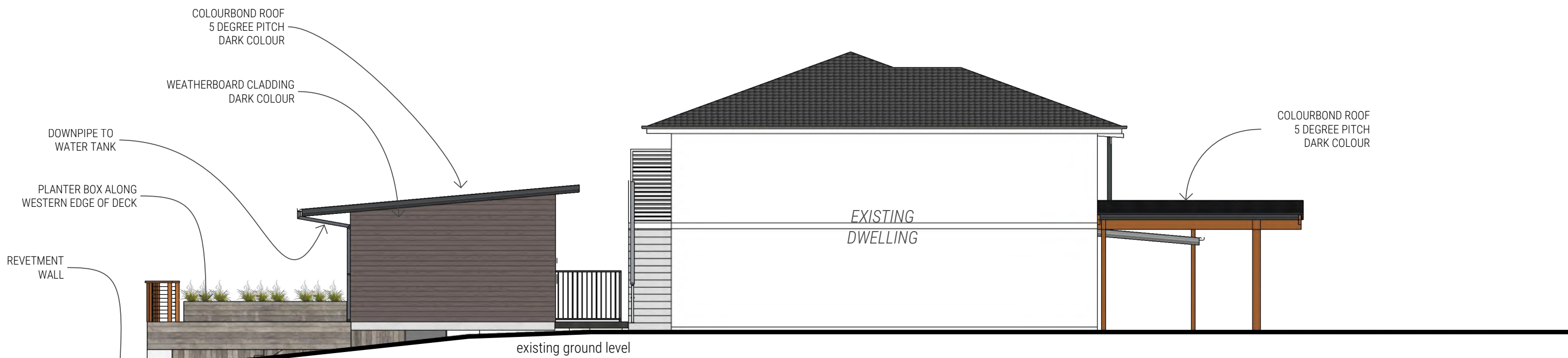
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**JWHIDA**  
BUILDING DESIGN SERVICES



**EAST ELEVATION**



**WEST ELEVATION**

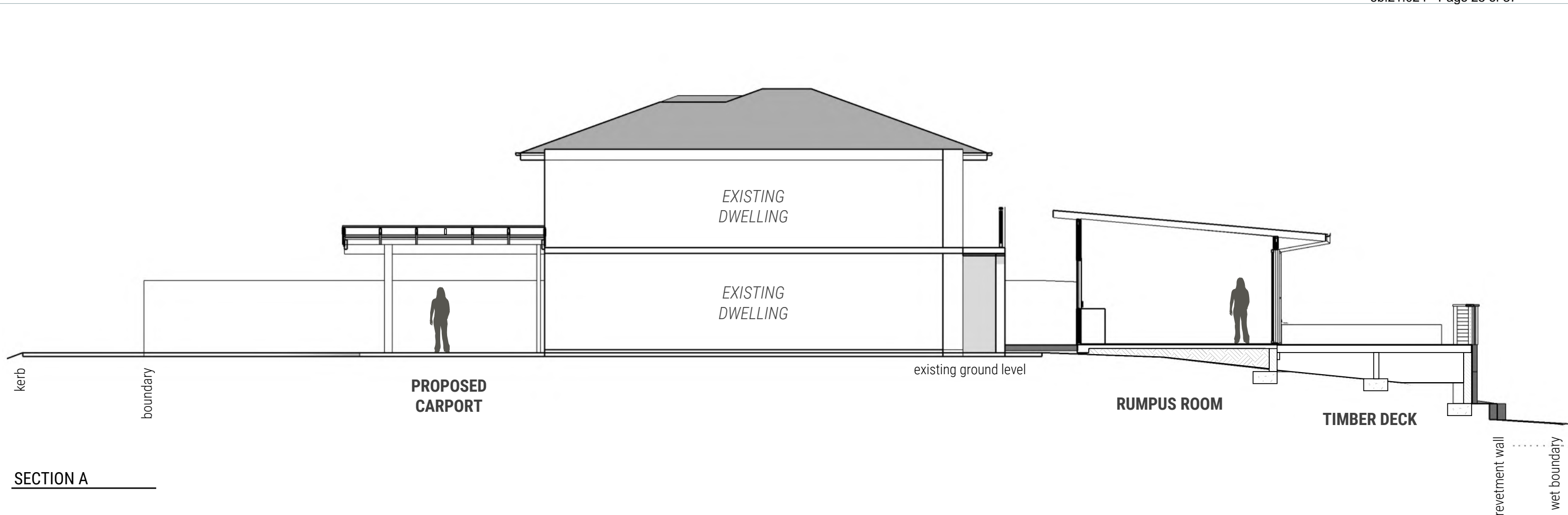
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KRYSY & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	<b>ELEVATIONS</b>	JW301	JH CHECK --	1:100 @ A3	15 / 11 / 19	A202	C	A PRELIMINARY 07/08/19 B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION



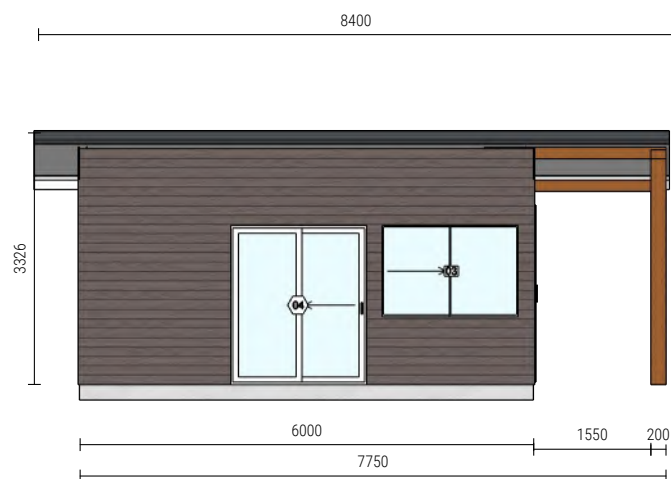


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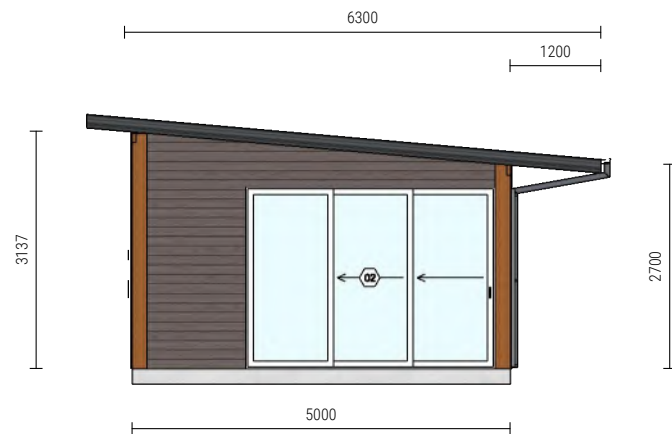
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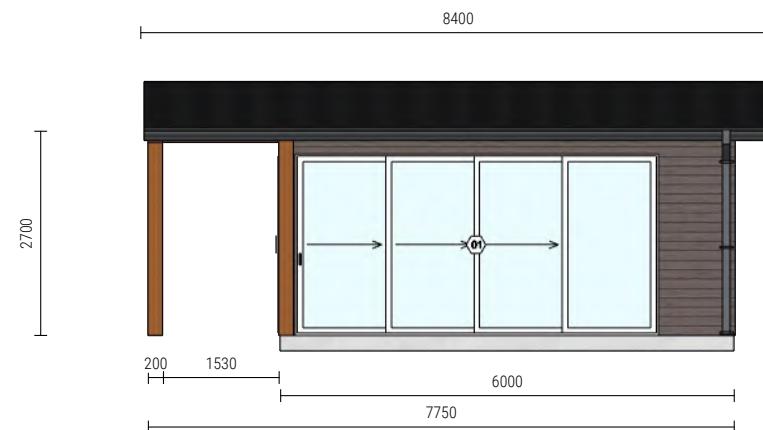
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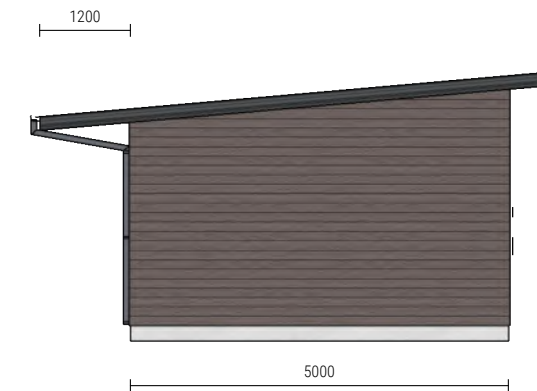
**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**



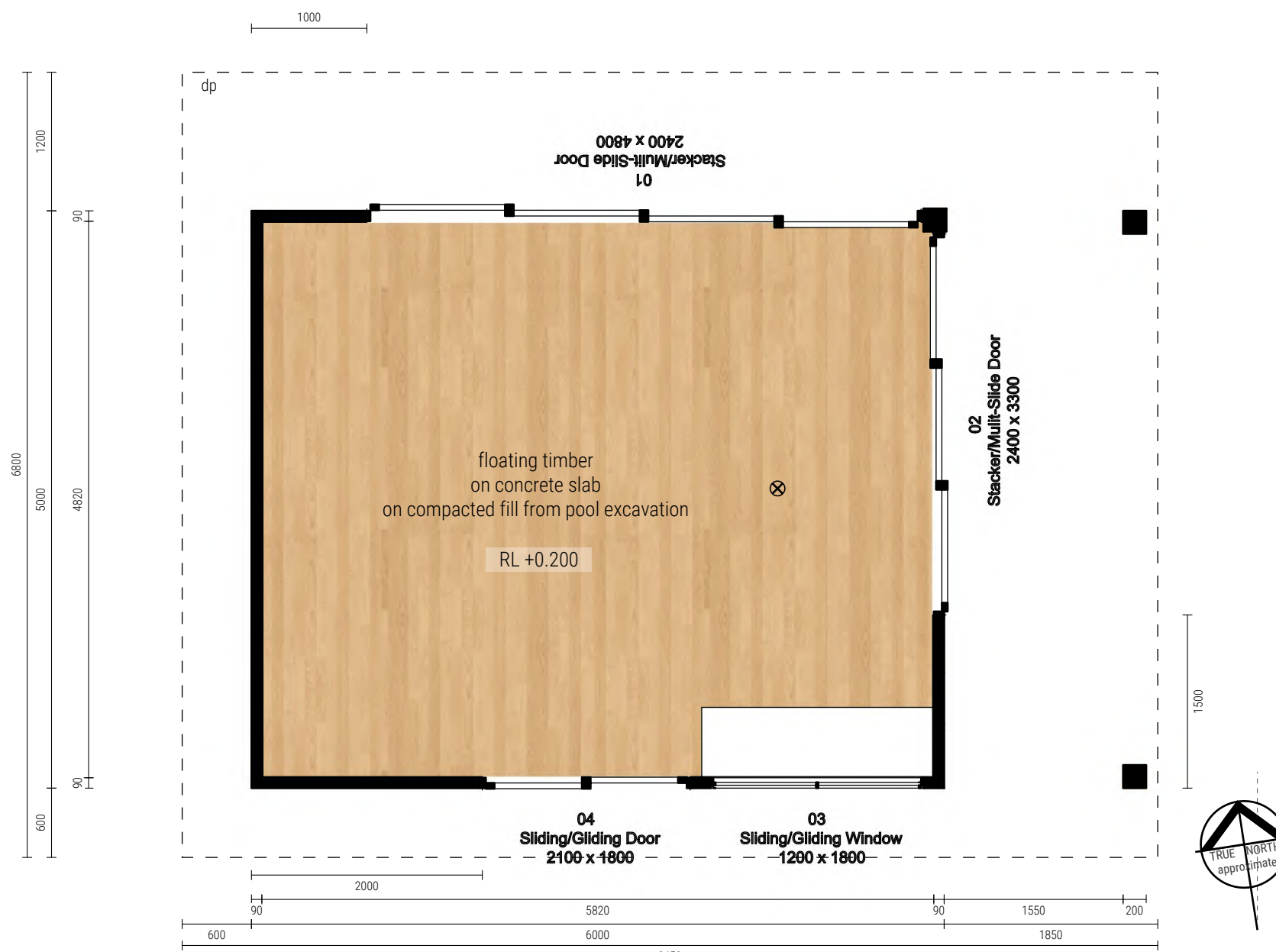
**WEST ELEVATION**

- LEGEND
- ⊗ SMOKE ALARM
  - dp DOWN PIPE

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**PLAN 1:50**

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KRYSY & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	<b>RUMPUS PLAN, ELEVATIONS, SECTION</b>	JW301	JH CHECK --	1:100 @ A3	15 / 11 / 19	A401	C	A PRELIMINARY 07/08/19 B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19	

**GENERAL NOTES**

- 1 ALL DIMENSIONS & DETAILS TO BE CHECKED & VERIFIED ON SITE BY OWNER, BUILDER OR TRADESPERSON PRIOR TO CONSTRUCTION.
- 2 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 3 DIMENSIONS ARE IN MM UNLESS OTHERWISE STATED
- 4 DIMENSIONS ARE ACTUAL AND NOT NOMINAL.
- 5 DIMENSIONS ARE STRUCTURE TO STRUCTURE UNLESS OTHERWISE NOTED AND DO NOT INCLUDE INTERNAL FINISHES AND CLADDING
- 6 ALL OVERHANG DIMENSIONS SHOWN ARE FROM EXTERNAL FACE OF FRAME WORK OR GABLE FACES
- 7 EAVES OVERHANG DIMENSIONS SHOWN INCLUDE AND FASCIA (EXCLUDE GUTTERING)
- 8 IF ACTUAL CONSTRUCTION OF THE DESIGN IN THIS SET OF PLANS DIFFERS FROM THESE PLANS THE OWNER AND BUILDER TO NOTIFY DESIGNER
- 9 ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- 10 THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT CONSULTANTS DOCUMENTATION SUPPLIED
- 11 ALL FOOTINGS, SLABS, WALLS, RETAINING WALLS, STEEL, TIE-DOWN, FRAMING, BEAMS, ROOF, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER
- 12 ALL DETAILS & SPECIFICATION (EVEN IF NOT NOTED) TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (BCA), RELEVANT AUSTRALIAN STANDARDS, AND LOCAL COUNCIL BY-LAWS
- 13 IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- 14 BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 15 ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY
- 16 ALL GROUND WORKS TO BE APPROVED BY ENGINEER

**GLAZING NOTES**

- 1 ALL WINDOWS AND GLAZING TO COMPLY WITH PART 3.6.1 OF THE NCC Vol2 (BCA) AND RELEVANT AUSTRALIAN STANDARDS AS 1288 & AS 2047
- 2 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.12 OF AS 1288
- 3 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS 2047
- 4 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION

**PLUMBING NOTES**

- 1 ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH WITH THE NCC Vol3 (Plumbing Code), AND RELEVANT AUSTRALIAN STANDARDS AS 3500 & APPROVED BY COUNCIL INSPECTION
- 2 ALL DOWNPIPES TO STORAGE TANKS, OR STORMWATER

**TERMITE AND PEST CONTROL NOTES**

- 1 TERMITE PROTECTION TO NCC Vol2 (BCA) PART 3.1.3, AND RELEVANT AUSTRALIAN STANDARDS: AS3660.1 & AS3660.3, AND TO LOCAL COUNCIL REQUIREMENTS

**STAIRS NOTES**

- 1 STAIRS CONSTRUCTION TO COMPLY WITH PART 3.9.1 'STAIRWAY AND RAMP CONSTRUCTION' OF THE NCC (BCA) VOLUME 2
- 2 STAIRWAY RISER AND GOIND DIMENSIONS TO COMPLY WITH THE THE SLOPE RELATIONSHIP (2R + G) IN ACCORDANCE WITH 'Table 3.9.1.1' OF THE NCC (BCA) VOLUME 2

STAIR TYPE	RISER (R)		GOING (G)		SLOPE RELATIONSHIP (2R + G)	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIRS (OTHER THAN SPIRAL)	190	115	355	240	700	550
SPIRAL	220	140	370	210	680	590

**BARRIERS TO PREVENT FALLS**

- 1 WHERE IT IS POSSIBLE TO FALL 1 M OR MORE MEASURED FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH, A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF A TRAFFICABLE SURFACE. THIS MAY NOT APPLY TO SOME RETAINING WALLS.
- 2 BALUSTRADE HANDRAIL TO BE A MINIMUM 1000mm HIGH AND 865mm MINIMUM FROM NOSE OF STAIRS

**EROSION & SEDIMENT CONTROL PLAN & NOTES**

- 1 ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING CUTTING AND FILLING.
- 2 ALL SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING DOWNSTREAM PROPERTIES, DRAINAGE LINES OR WATERCOURSES.
- 3 DISTURBANCE OF THE SITE MUST BE MINIMISED.
- 4 A SEDIMENT CONTROL FENCE MUST BE INSTALLED AT THE DOWNSLOPE PERIMETER OF THE DISTURBED AREA TO PREVENT SEDIEMNT & OTHER DEBRIS FROM LEAVING THE SITE. SEDIMENT FENCING IS TO BE TRENCHED IN AT LEAST 150mm AND BURIED WITH ENDS TURNED UPSLOPE. WHERE CATCHMENT AREA IS MORE THAN 0.5 HA DIRECT UP SLOPE RUNOFF AROUND THE SITE, BY THE USE OF A DIVERSION BANK OR CHANNELS. THESE DEVICES MAY REQUIRE MEASURES OF CONTROL EROSION DEPENDING ON THE VOLUME OF FLOW ANTICIPATED.
- 5 VEHICULAR ACCESS IS TO BE RESTRICTED TO ONE STABILISED ACCESS POINT WHICH IS TO BE CONSTRUCTED OF 40mm CRUSHED STONE AGGREGATE OR RECYCLED CONCRETE 150mm DEEP. 2.5 METRES WIDE & EXTEND FROM KERB LINE TO THE SLAB OR BUILDING LINE OR FOR AT LEAST 15m ON RURAL ALLOTMENTS.
- 6 STOCKPILES OF ERODIBLE MATERIALS (SAND, SOIL, SPOIL & VEGETATION) MUST BE PROTECTED BY A SEDIMENT FENCE OR BUND. IF THE STOCKPILE AREA IS PRONE TO HIGH WINDS OR IS TO BE THERE FOR A LONG TIME THEN THE STOCKPILE MUST BE COVERED.
- 7 STOCKPILE MATERIAL MUST BE STORED CLEAR OF ANY DRAINAGE LINE & WITHIN THE PROPERTY BOUNDARY.
- 8 STOCKPILES ARE NOT PERMITTED ON FOOTPATHS OR ROADS.
- 9 IMMEDIATELY FOLLOWING INSTALLATION OF THE ROOF CLADDING, ALL GUTTERING AND DOWNPIPES ARE TO BE CONNECTED TO THE STORMWATER SYSTEM. INSPECTION OF THE FRAME IS NOT TO BE ARRANGED UNTIL THIS IS COMPLETED.
- 10 ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REGULARLY MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES AN INSPECTED FOR ADEQUACY FOLLOWING ANY RAINFALL EVENT.
- 11 ALL TRENCHES WITHIN THE DEVOLPMENT SITE ARE TO BE BACKFILLED AND COMPACTED TO A LEVEL OF 75mm ABOVE ADJOINING GROUND LEVEL. THIS MAY NOT APPLY ON PUBLIC LAND, CONSULT WITH COUNCIL STAFF.
- 12 ALL DISTURBED AREAS ARE TO BE MADE EROSION RESISTANT BY REVEGETATION (IE MIN. 70% COVERAGE), TURFING OR STABILISED BY PAVING ON COMPLETION OF THE WORKS AND PRIOR TO OCCUPATION AND/OR USE OF THE BUILDING OR, ALL NECESSARY EROSION AND SEDIEMNT CONTROL DEVICES ARE TO BE LEFT IN PLACE

**CONCRETE NOTES**

- 1 NO FILL OR BACKFILL TO BE ABOVE THE FOOTING OR SLAB.
- 2 NO FILL OR BACKFILL IS TO BE AGAINST ANY STEP DOWNS.
- 3 TERMITE PROTECTION TO BE IN ACCORDANCE WITH THE AS3660-1
- 4 SLABS & FOOTINGS TO AS 2870
- 5 ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE.
- 6 REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS.
- 7 REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

**TIMBER FRAME NOTES**

- 1 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF THE N.C.C. (B.C.A.) & AS1684
- 2 ALL STRUCTUAL MEMBERS TO BE DETERMINED BY STRUCTUAL ENGINEER OR FRAMING MANUFACTURER.

**SUBFLOOR NOTES**

- 1 WHERE SUBFLOOR IN ENCLOSED, SUB-FLOOR VENTILATION PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH PART 3.4.1 OF N.C.C. (B.C.A.)
- 2 ALL BORED PIERS, CONC SLAB & STRUCTUAL MEMBERS TO BE DETERMINED BY STRUCTUAL ENGINEER.

DOORS EXTERNAL				
MARK	WIDTH	HEIGHT	TYPE	FRAME
01	4800	2400	Stacker door – 4 panel	Aluminium
02	3300	2400	Stacker door – 3 panel	Aluminium
04	1800	2100	Sliding door	Aluminium

WINDOWS EXTERNAL				
MARK	WIDTH	HEIGHT	TYPE	FRAME
03	1800	1200	Sliding	Aluminium

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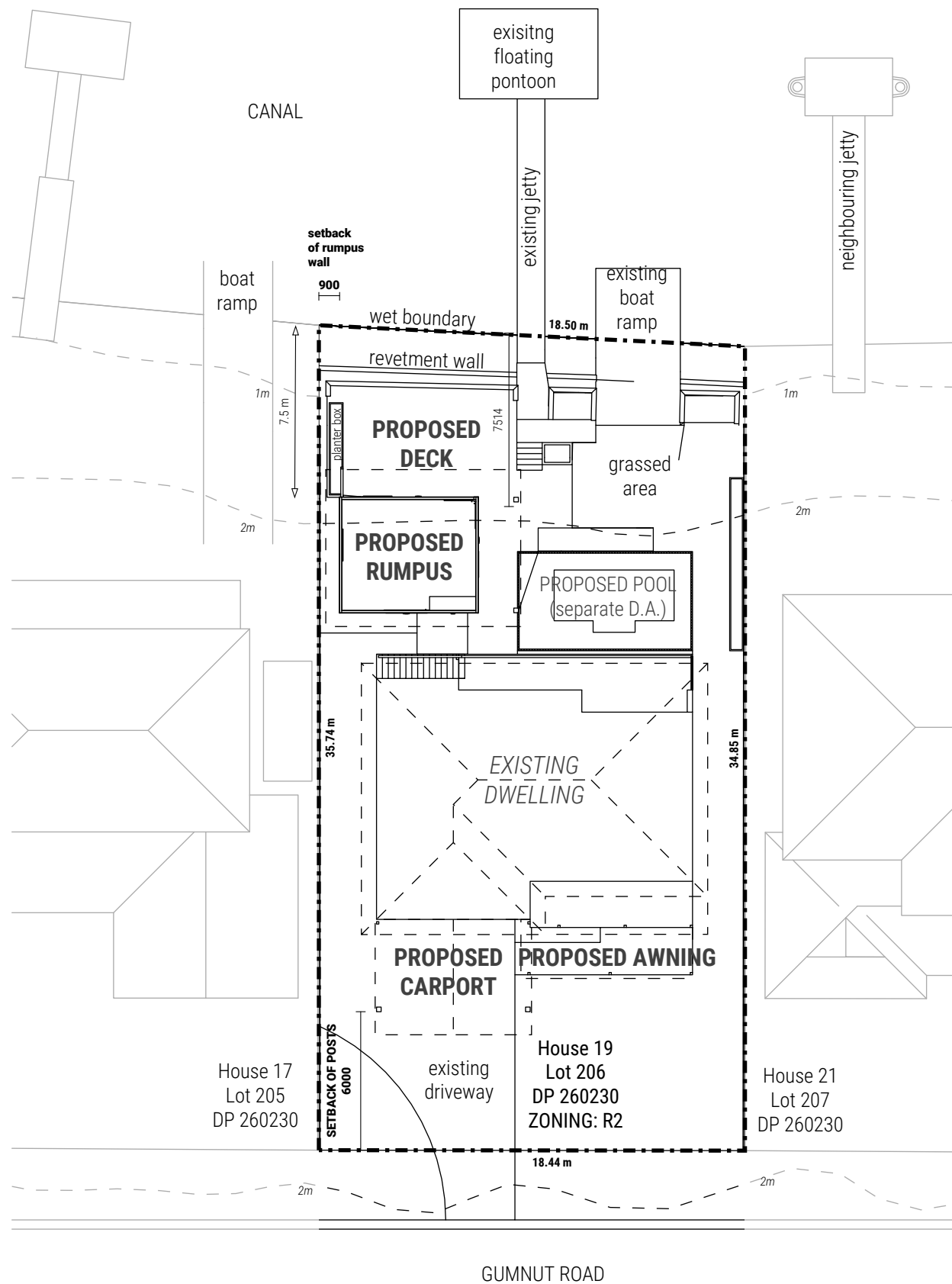
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KRYSY & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	<b>NOTES, WINDOW AND DOOR SCHEDULES</b>	JW301	JH CHECK --	1:100 @ A3	15 / 11 / 19	A801	C	<table border="1"> <tr> <td>A</td> <td>PRELIMINARY</td> <td>07/08/19</td> </tr> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> </table>	A	PRELIMINARY	07/08/19	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	info@jwhida.com +61 406 802 037 JWHIDA.COM DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
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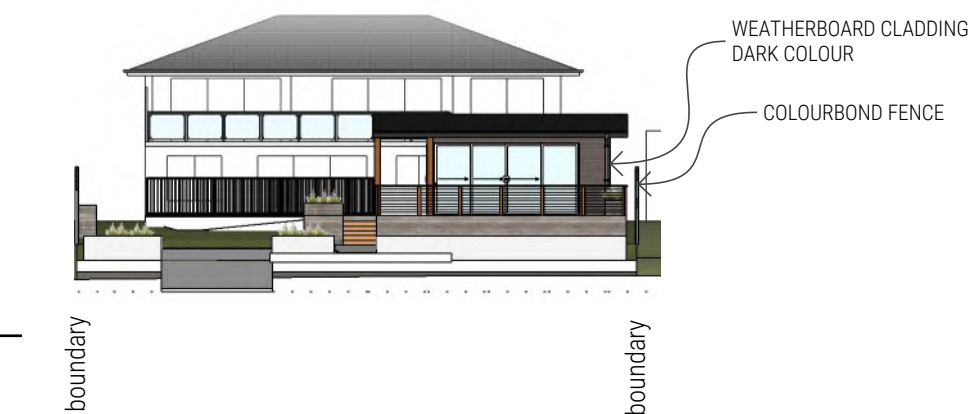
**SITE PLAN - PROPOSED**

COLOURBOND ROOF  
5 DEGREE PITCH  
DARK COLOUR

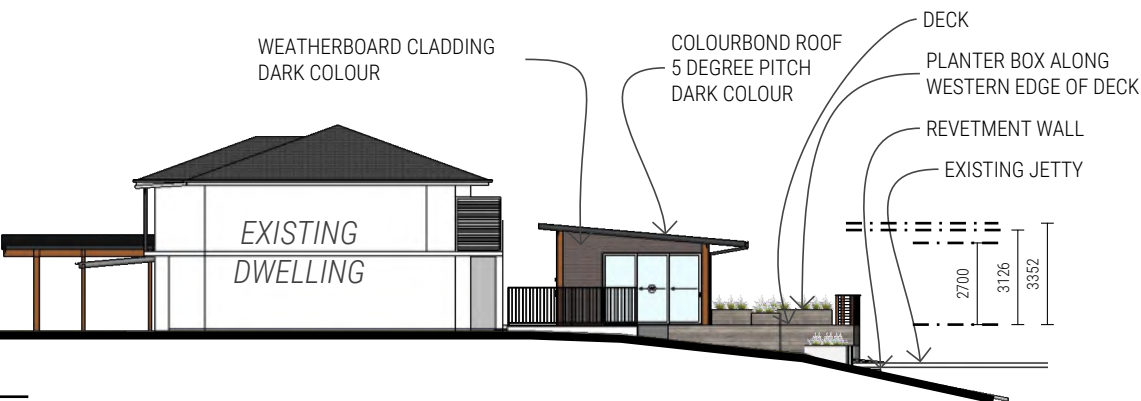
**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**



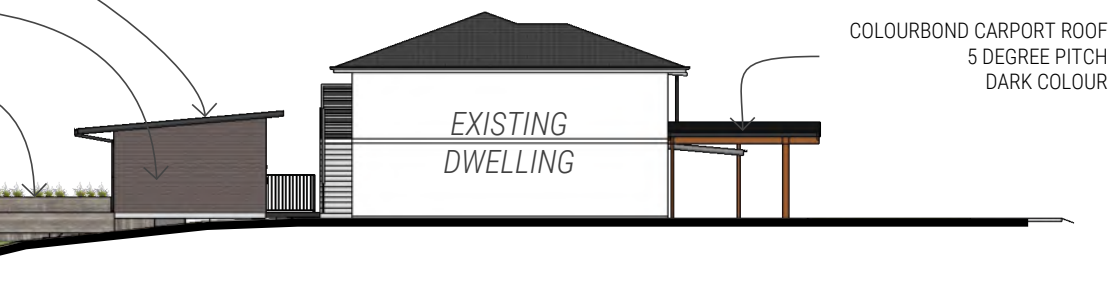
COLOURBOND ROOF  
5 DEGREE PITCH  
DARK COLOUR

WEATHERBOARD CLADDING  
DARK COLOUR

PLANTER BOX ALONG  
WESTERN EDGE OF DECK

REVETMENT  
WALL

**WEST ELEVATION**



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KRYSY & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	19 Gumnut Road YAMBA	<b>NOTIFICATION PLAN</b>	JW301	JH CHECK --	1:250 @ A3	15 / 11 / 19	A802	C	A PRELIMINARY 07/08/19 B DA ISSUE 13/08/19 C AMENDMENTS FOR DA 15/11/19	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION





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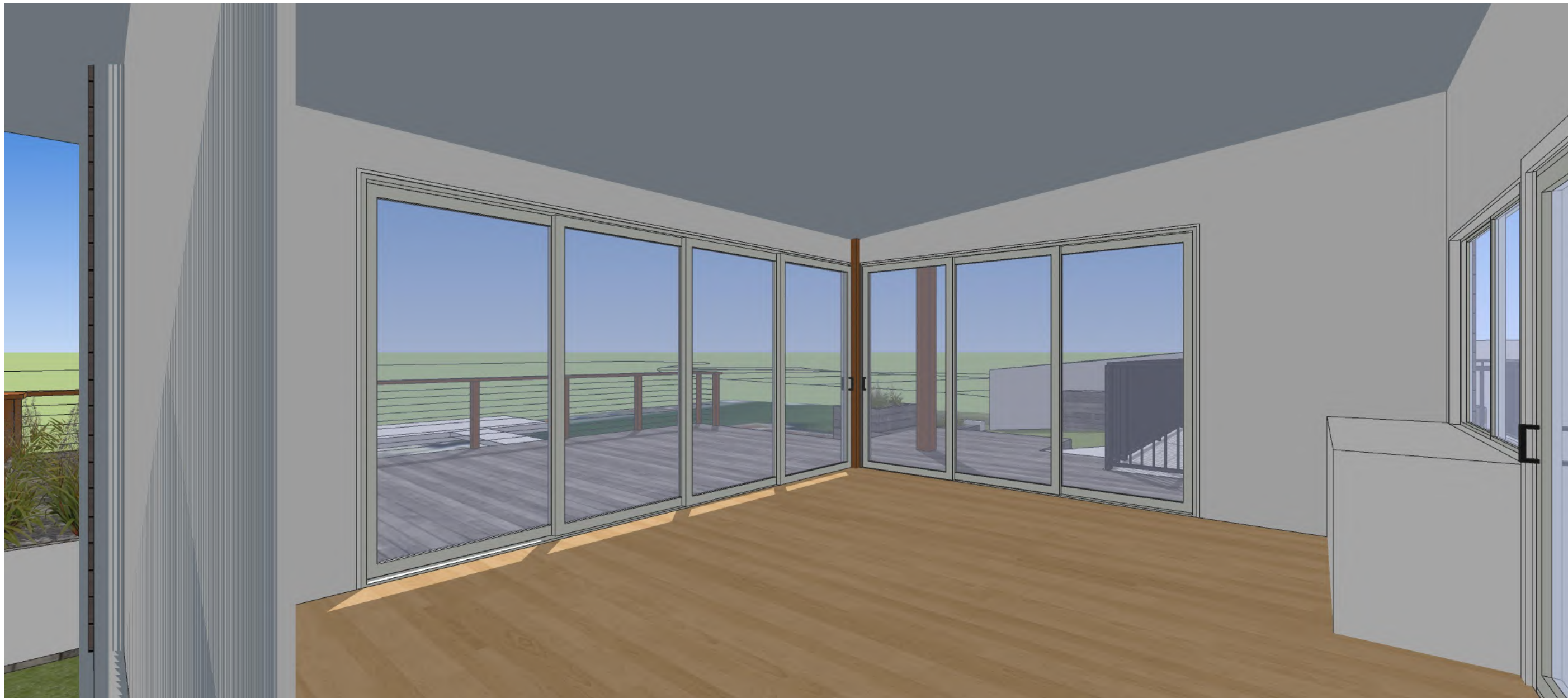
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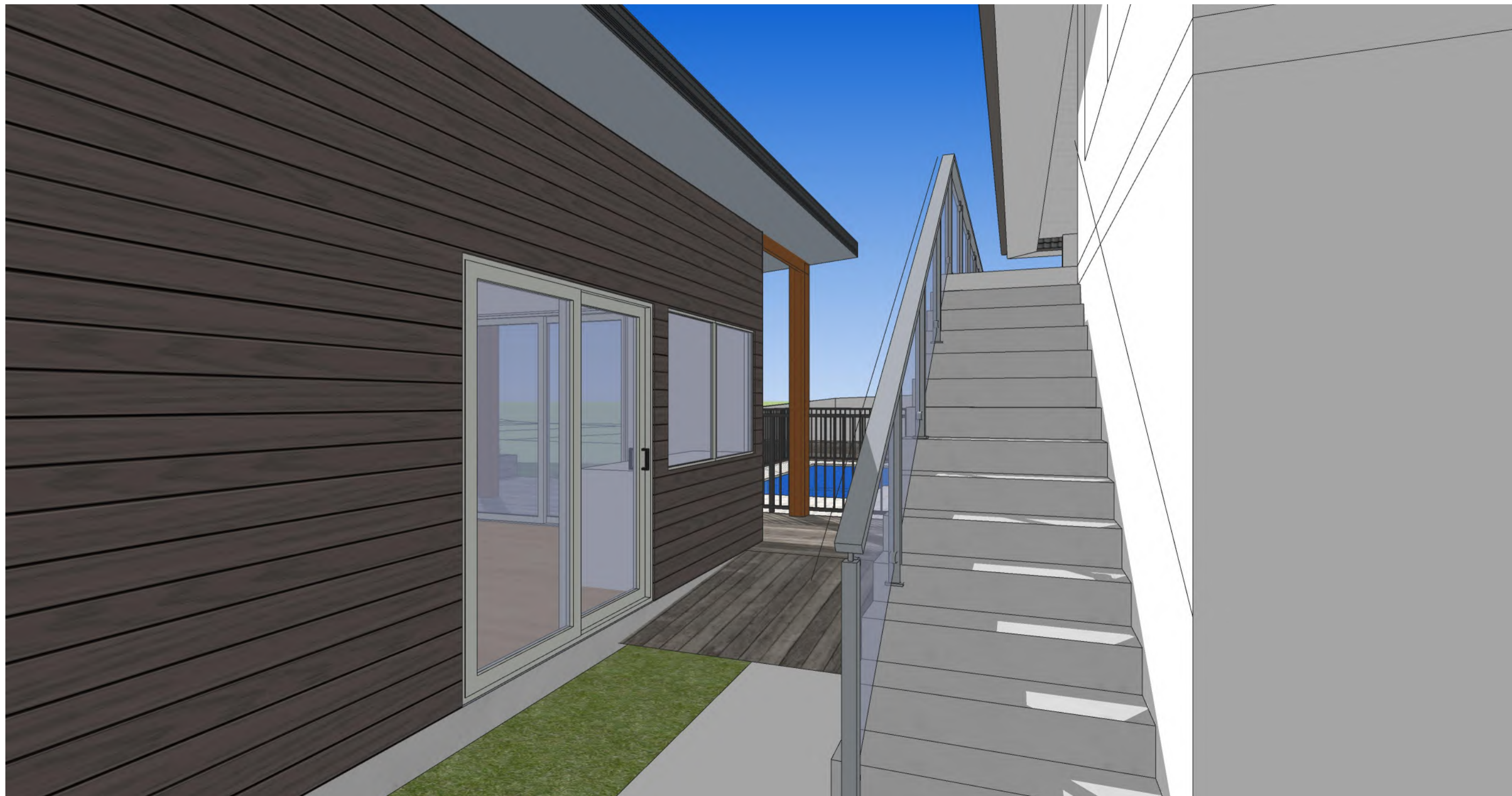
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KRYSY & TODD CAMPBELL	19 GUMNUT ROAD, YAMBA NSW Lot 206/ DP 260230	<b>19 Gumnut Road YAMBA</b>	<b>PERSPECTIVES</b>	JW301	JH CHECK --	1:250 @ A3	15 / 11 / 19	A101	C	<table border="1"> <tr> <td>A</td> <td>PRELIMINARY</td> <td>07/08/19</td> </tr> <tr> <td>B</td> <td>DA ISSUE</td> <td>13/08/19</td> </tr> <tr> <td>C</td> <td>AMENDMENTS FOR DA</td> <td>15/11/19</td> </tr> </table>	A	PRELIMINARY	07/08/19	B	DA ISSUE	13/08/19	C	AMENDMENTS FOR DA	15/11/19	info@jwhida.com +61 406 802 037 JWHIDA.COM BUILDING DESIGN SERVICES DESIGN • DRAFTING • ENERGY RATING • VISUALISATION
A	PRELIMINARY	07/08/19																		
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**CLARENCE VALLEY COUNCIL  
APPROVAL**

**This is the plan referred to in Council's  
Notice of Determination of DA2019/0439**

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