

# DEVELOPMENT DATA

**SITE ADDRESS**  
3 DUNES COURT, YAMBA, NSW 2464

**RPD**  
LOT 16 ON DP 1047026

**SITE AREA**  
1,155 SQM

**LOCAL COUNCIL:**  
CLARENCE VALLEY COUNCIL

TH	GROUND FLOOR AREAS (m <sup>2</sup> )	UPPER FLOOR AREAS (m <sup>2</sup> )	TOTAL AREAS (m <sup>2</sup> )
1- 3 BED + 2 BATH	51	92	143
2- 3 BED + 2 BATH	41	85	126
3- 3 BED + 2 BATH	41	85	126
4- 2 BED + 1 BATH	70	-	70

TH	GROUND AREA (m <sup>2</sup> )	TOTAL BALCONY AREA (m <sup>2</sup> )
1	53	14
2	54	21
3	58	16
4	50	-

**LANDSCAPE COVER**  
TOTAL AREA (m<sup>2</sup>) = 406  
LANDSCAPE COVER = 35.1%

**BUILDING COVER**  
TOTAL GFA (m<sup>2</sup>) = 376  
SITE COVER = 32.6%

- AREA CALCULATION NOTES**
- INTERNAL AREAS ARE MEASURED TO THE INSIDE FACE OF EXTERNAL WALLS, & TO EXTERNAL FACE OF THE WALL BETWEEN GARAGE AND LIVING SPACES.
  - GARAGE AREAS ARE MEASURED SEPERATELY
  - STAIRS & VOIDS ON THE UPPER FLOORS ARE NOT MEASURED IN AREA CALCULATION.
  - DECKS AND TERRACES ARE NOT MEASURED IN AREA CALCULATION

**INSULATION**  
TO COMPLY WITH BASIX CERTIFICATE;

	TH 01	TH 02	TH 03	TH 04
<b>EXTERNAL WALL INSULATION</b>	R2.5	R2.5	R2.5	R2.5
<b>INTERNAL WALL INSULATION (GARAGE &amp; SHOWER WALL)</b>	R2.0	R2.0	R2.0	R2.0
<b>ROOF INSULATION</b>	55mm ANTICON BLANKET TO ALL			
<b>CEILING INSULATION</b>	R3.5	R3.5	R3.5	R3.5
<b>FLOOR INSULATION (TO EXPOSED FIRST FLOORING)</b>	-	R2.0	R2.0	R2.5
<b>FLOOR INSULATION (UNDER SLAB)</b>	-	-	-	36mm FOAM

**TOWNHOUSE FITTINGS AND FIXTURES**  
ALL TOWNHOUSE TO HAVE THE FOLLOWING TO COMPLY WITH BASIX CERTIFICATE;

HOT WATER UNIT	<b>SOLAR ELECTRIC - BASIX TO CONFIRM</b>
BATHROOM VENTILATION	INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, INTERLOCKED TO LIGHT
LAUNDRY VENTILATION	INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, INTERLOCKED TO LIGHT

**CARPARKING**

<b>REQUIRED PARKING</b>		
2 BED TOWNHOUSE (1/TOWNHOUSE)	1x1 =	1 CARS
3 BED TOWNHOUSE (1.5/TOWNHOUSE)	3x1.5 =	4.5 CARS
VISITOR (0.5/TOWNHOUSE)	4x0.5 =	2 CARS
<b>TOTAL</b>		<b>8 CARS</b>

<b>PROVIDED PARKING</b>	
PRIVATE CARPARK	7 CARS
VISITOR	2 CAR
<b>TOTAL</b>	<b>9 CARS</b>

**LEGEND**

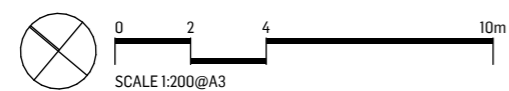
BAL	BALUSTRADE
BRK	BRICKWORK
CLD-#	CLADDING - TYPE #
- E	EXISTING (SUFFIX)
EGL	EXISTING GROUND LEVEL
ENS	ENSUITE
FFL	FINISH FLOOR LEVEL
LDY	LAUNDRY
MRS	METAL ROOF SHEETING
RL	RELATIVE LEVEL
RWT	RAIN WATER TANK
SCR-#	SCREEN - TYPE #
SHR	SHOWER
SMH	SEWER MANHOLE
SWP	STORM WATER PIT
TH	TOWNHOUSE
WC	TOILET SUITE

— SW —	STORMWATER
— W —	WATER
— S —	SEWER



**DUNES COURT**

**SITE PLAN**  
1:200



**APPROVED**  
THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT DA IR	PW

## The Dunes

DRAWING  
**SITE PLAN & DEVELOPMENT DATA**  
PROJECT NO. **2685-366** DRAWING NO. **DA-01** ISSUE **C**



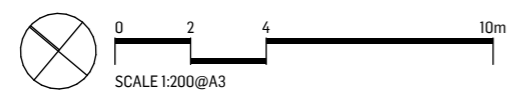
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- LEGEND**
- LANDSCAPED AREA
  - GARAGE AREA
  - INTERNAL AREA
  - PRIVATE OPEN SPACE/BALCONY



**AREAS (SQM.)**

UNIT	GARAGE	INTERNAL	PRIVATE OPEN SPACE	BALCONY
TH1	38	143	53 + 13	14
TH2	37	126	54	24
TH3	38	126	58 + 21	16
TH4	20	70	50	-



**APPROVED**  
THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

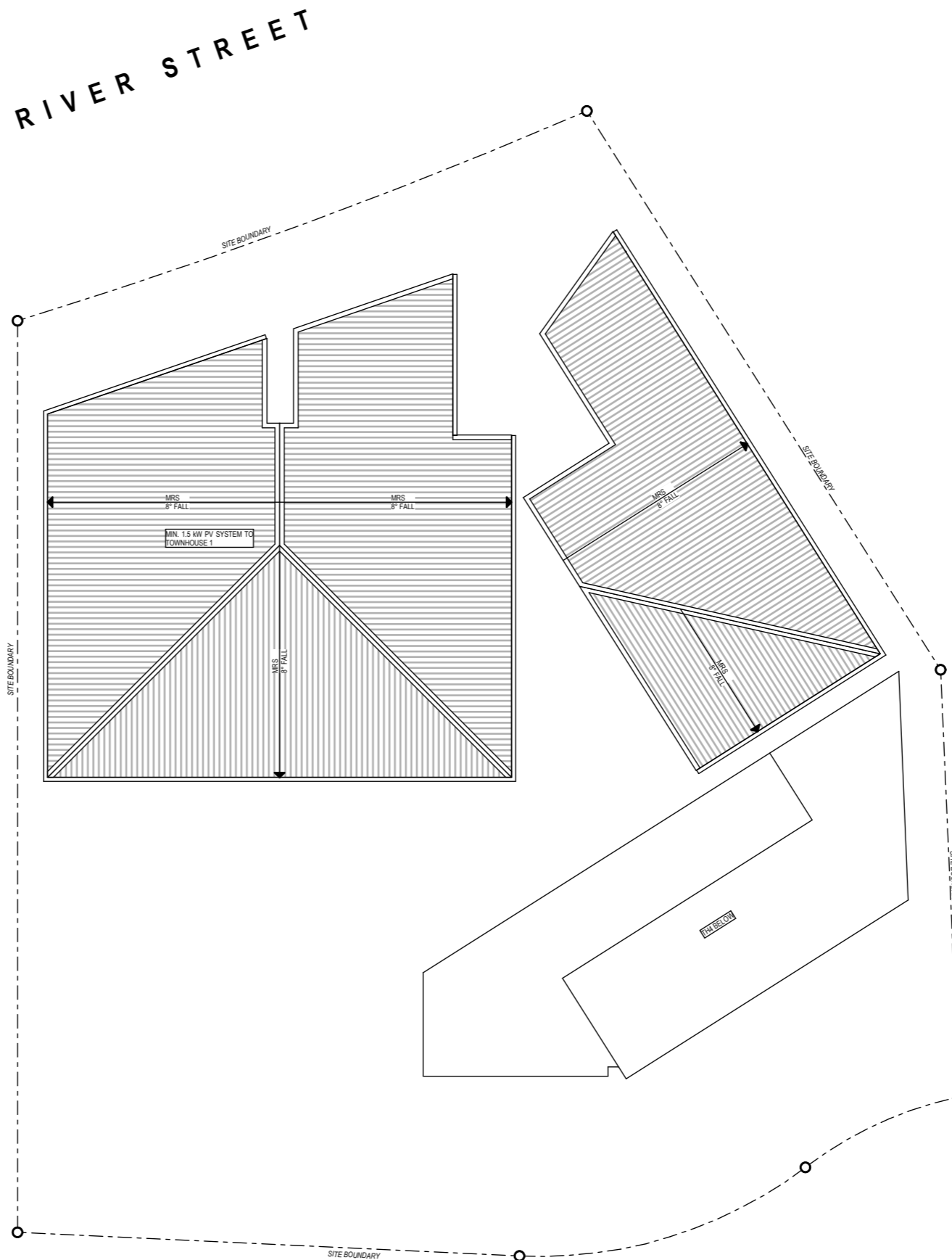
## The Dunes

DRAWING  
**AREA PLANS**  
PROJECT NO. **2685-366**  
DRAWING NO. **DA-02**

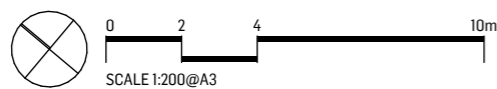
ISSUE  
**C**



**LEGEND**  
 MRS METAL ROOF SHEETING  
 PCS POLYCARBONATE SHEETING



**ROOF PLAN**  
**1:200**



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ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	05.07.21	BA	DEVELOPMENT APPLICATION	LG
C	23.09.21	BA	FOR COORDINATION	PW
D	28.09.21	BA	DRAFT IR RESPONSE	PW

**The Dunes**

DRAWING  
**ROOF PLAN**

PROJECT NO.  
**2685-366**

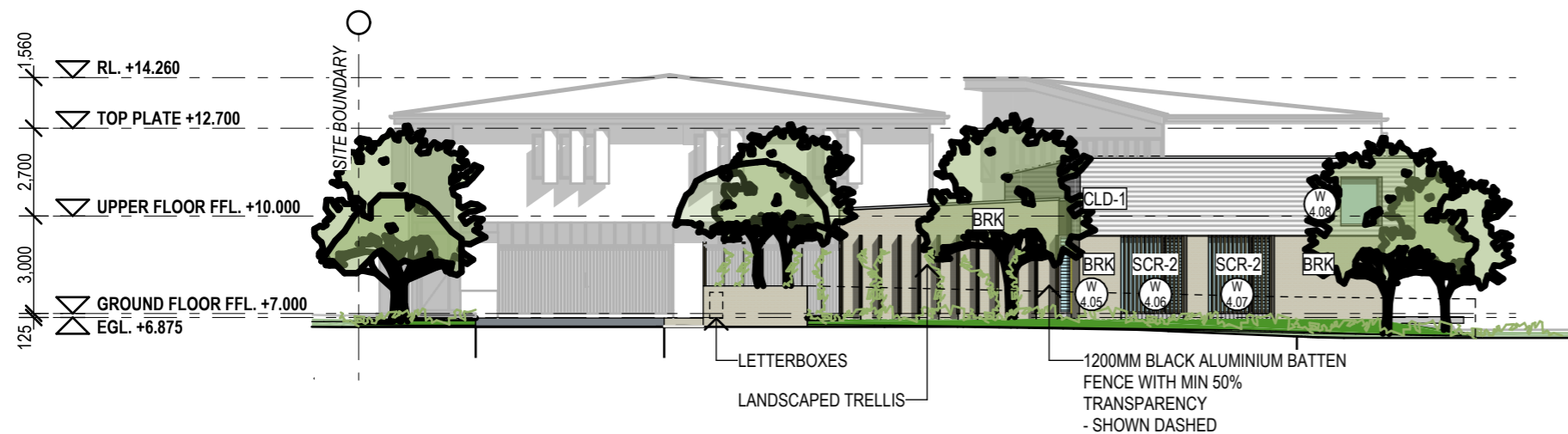
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**DA-05**

ISSUE  
**D**

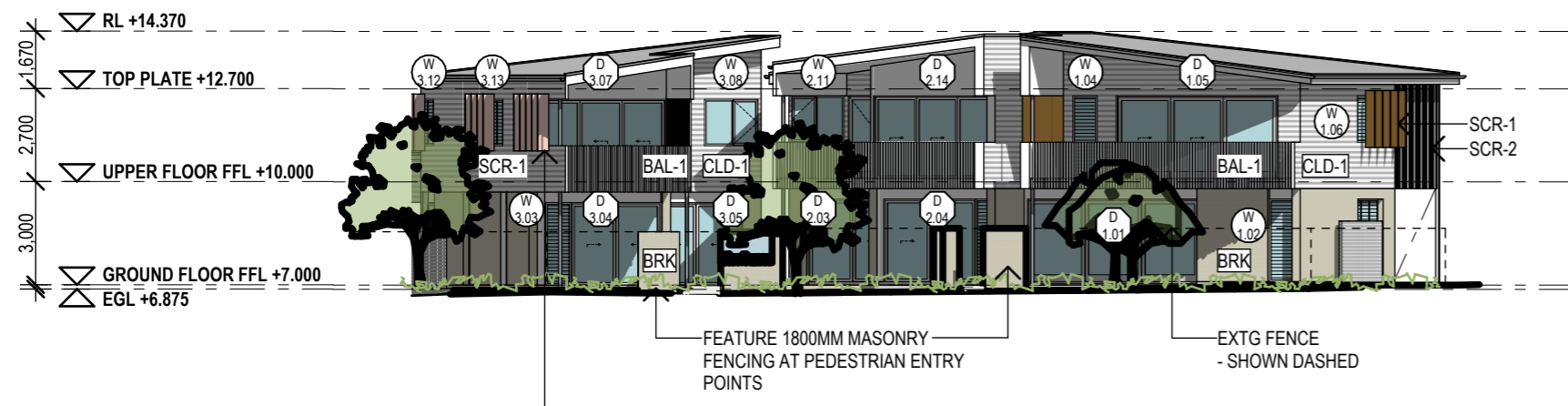


**LEGEND**

BAL	BALUSTRADE
BRK	BRICKWORK
CLD-#	CLADDING - TYPE #
EGL	EXISTING GROUND LEVEL
FFL	FINISH FLOOR LEVEL
MRS	METAL ROOF SHEETING
RL	RELATIVE LEVEL
SCR-#	SCREEN - TYPE #



**DUNES COURT ELEVATION (TH4)**  
1:200



**RIVER STREET ELEVATIONS (TH1&2&3)**  
1:200



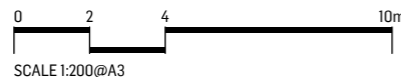
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ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	21.06.21	BA	DEVELOPMENT APPLICATION	LG
C	21.06.21	BA	DEVELOPMENT APPLICATION	LG
D	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

# The Dunes

DRAWING  
**STREET ELEVATIONS**

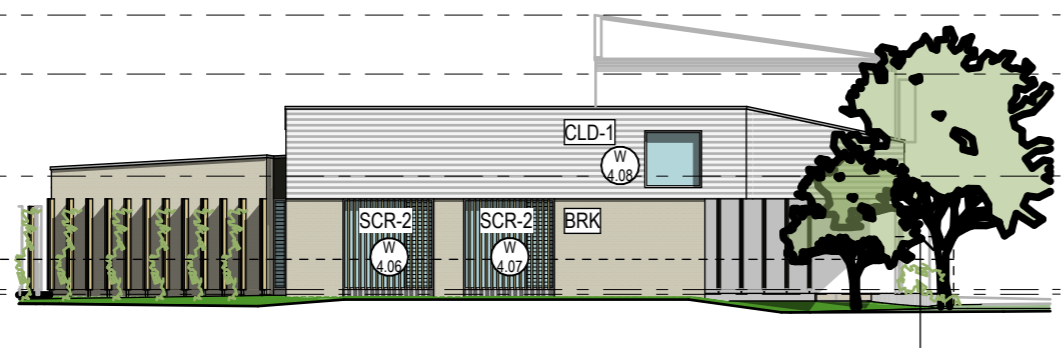
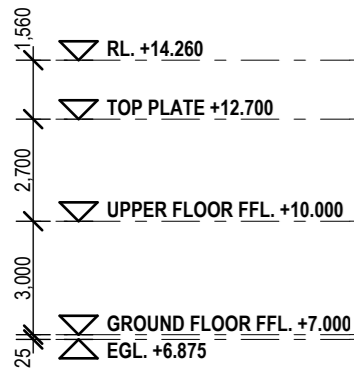
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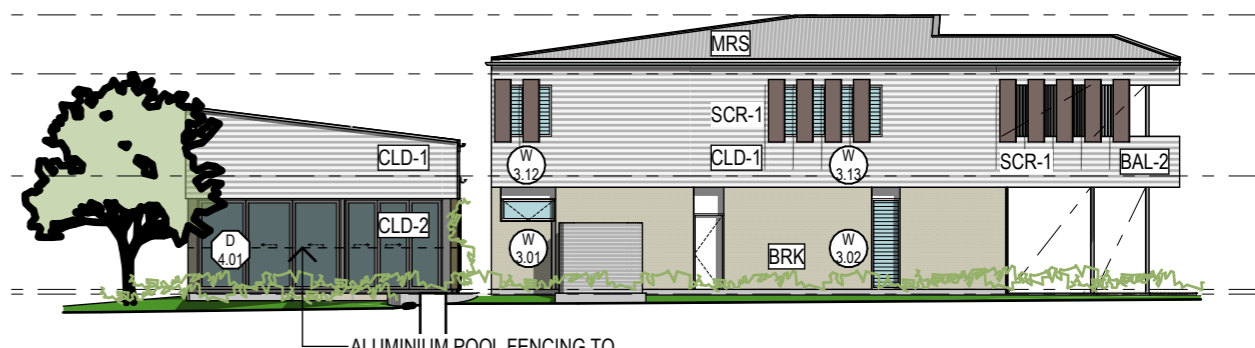


**LEGEND**

BAL	BALUSTRADE
BRK	BRICKWORK
CLD-#	CLADDING - TYPE #
EGL	EXISTING GROUND LEVEL
FFL	FINISH FLOOR LEVEL
MRS	METAL ROOF SHEETING
RL	RELATIVE LEVEL
SCR-#	SCREEN - TYPE #

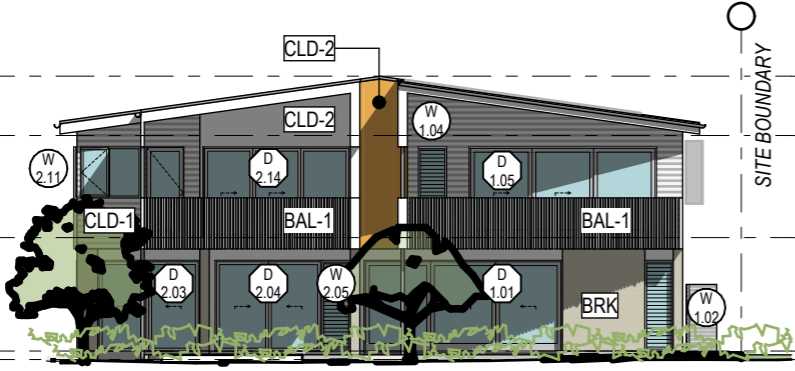
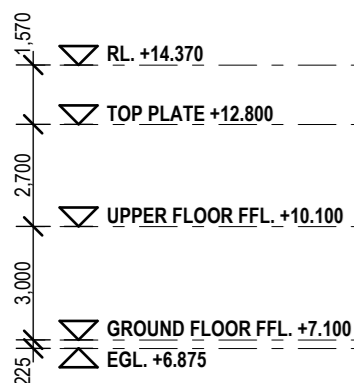


**SOUTH ELEVATION (TH4)**  
1:200



**EAST ELEVATION (TH3&4)**  
1:200

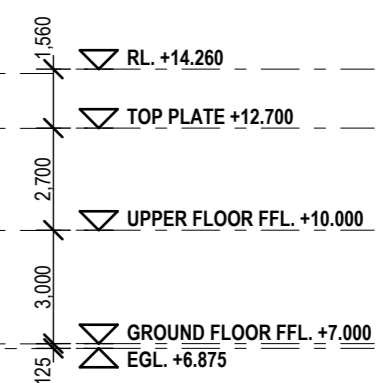
ALUMINIUM POOL FENCING TO COMPLY WITH AS1926.1



**NORTH-EAST ELEVATION (TH1&2)**  
1:200



**NORTH-WEST ELEVATION (TH1&4)**  
1:200



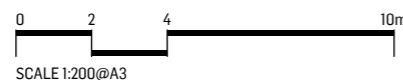
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THE DUNES DESIGN PANEL

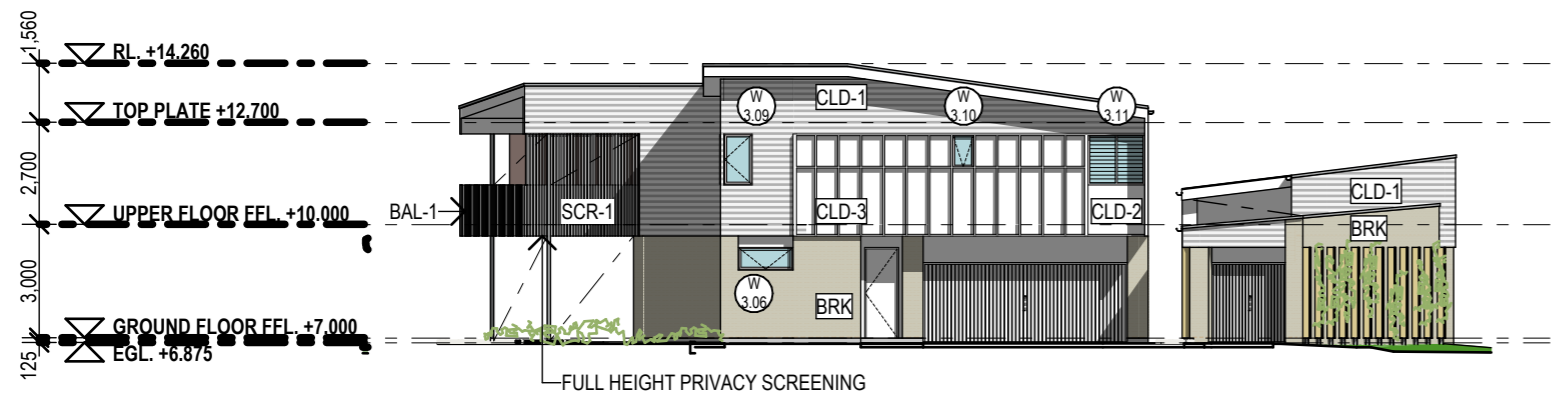
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C	21.06.21	BA	DEVELOPMENT APPLICATION	LG
D	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

**The Dunes**

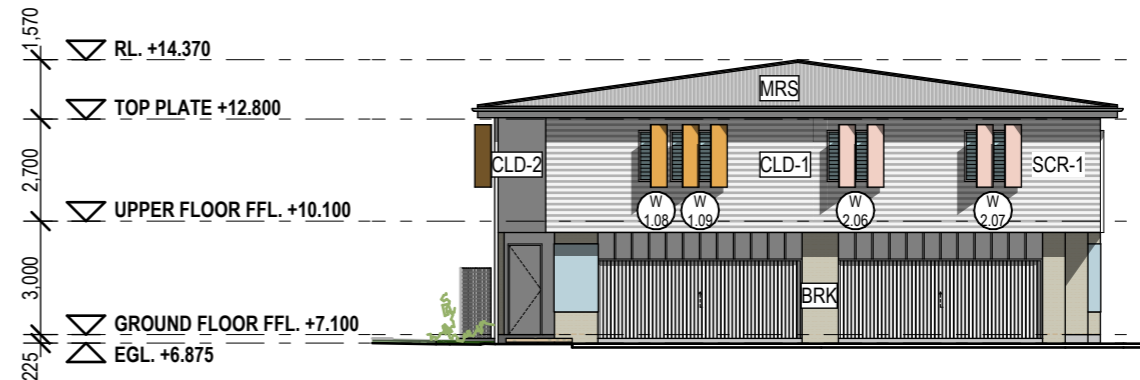
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**ELEVATIONS - SHEET 1**

PROJECT NO. **2685-366** DRAWING NO. **DA-12** ISSUE **E**

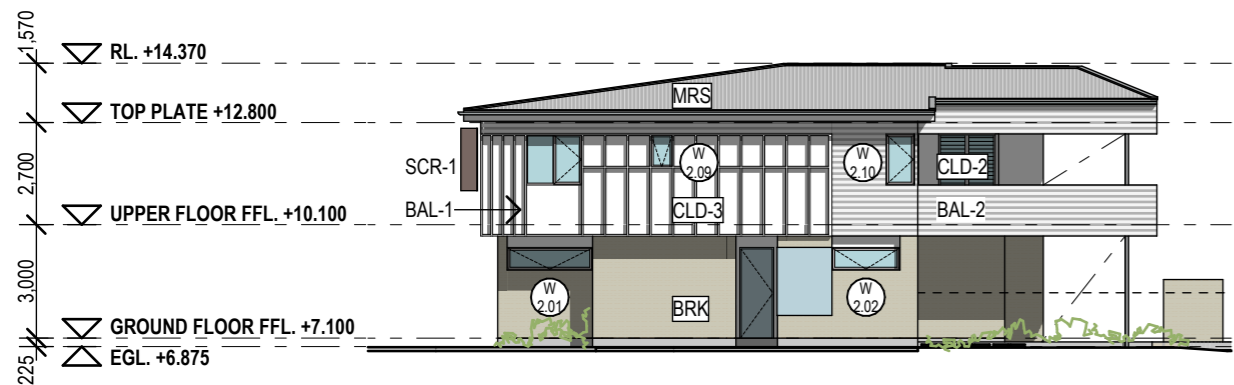




**WEST ELEVATION (TH3&4)**  
1:200



**SOUTH-WEST ELEVATION (TH1&2)**  
1:200



**SOUTH-EAST ELEVATION (TH2)**  
1:200



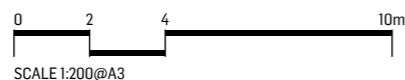
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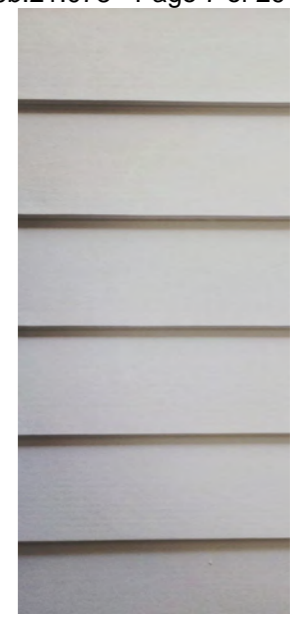
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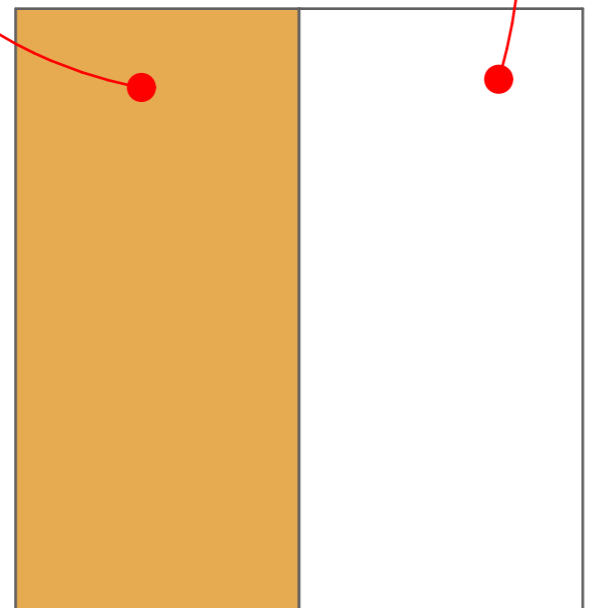
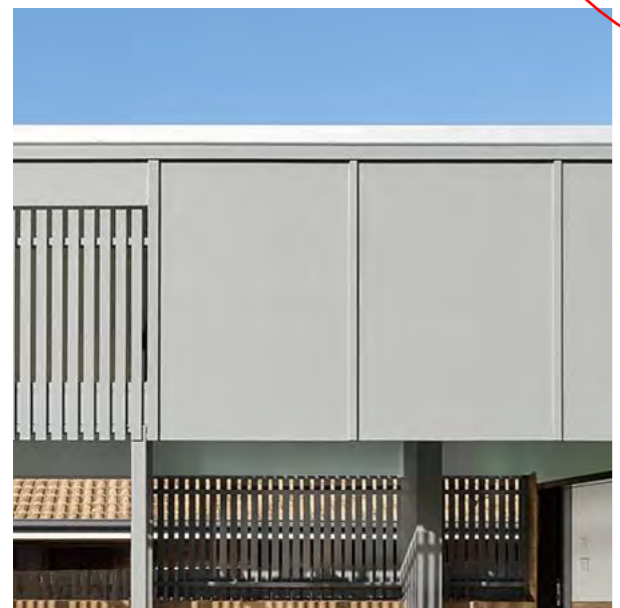
DRAWING  
**ELEVATIONS - SHEET 2**

PROJECT NO. **2685-366** DRAWING NO. **DA-13** ISSUE **E**





**CLD-1**  
**EXTERNAL CLADDING**  
 - WEATHERBOARDS  
 - COLOUR AND MATERIAL REFLECTS THE EXISTING MATERIALITY OF THE SURROUNDING BEACH-HOMES IN THE AREA



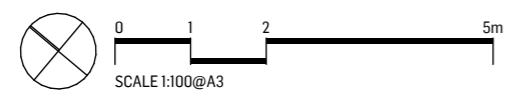
**CLD-2**  
**UPPER AND LOWER FLOOR EXTERNAL CLADDING**  
 - FIBRE CEMENT SHEET WITH COVER BATTENS  
 - EXPRESSED JOINTS PROVIDE ARTICULATION  
 - COLOUR AND TEXTURE REFLECT THE STONE OF YAMBA POINT



**TRELLIS STRUCTURE**  
**GROUND FLOOR**  
 - SOFTENS EDGE TREATMENT BETWEEN ROAD AND TOWNHOUSES  
 - ALLOWS FOR CLIMBER FLORA STRUCTURE  
 - PROVIDES PRIVACY AND DAPPLED LIGHT



**CLD-3**  
**UPPER LOWER FLOOR FEATURE CLADDING**  
 - EXPRESSED 'STUDS' OVER CLADDING  
 - PROVIDES ARTICULATION TO SELECTED SECTIONS OF FACADE  
 - TEXTURE AND MATERIAL REMINISCENT OF LIGHTWEIGHT ARCHITECTURE AND COASTAL FLORA

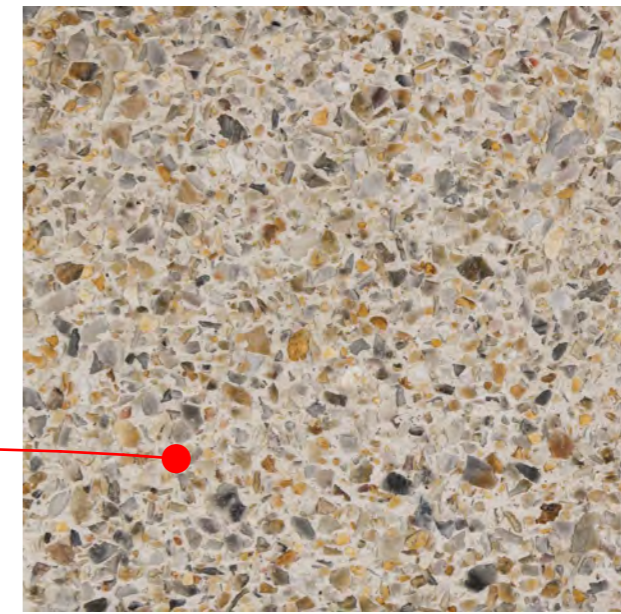
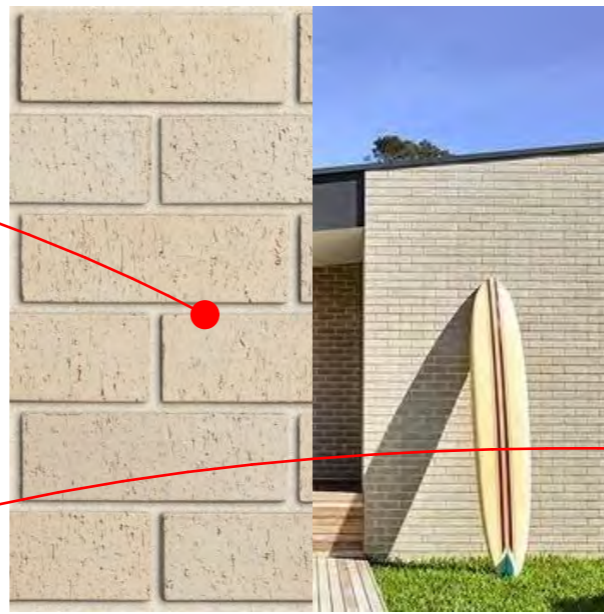


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**The Dunes**

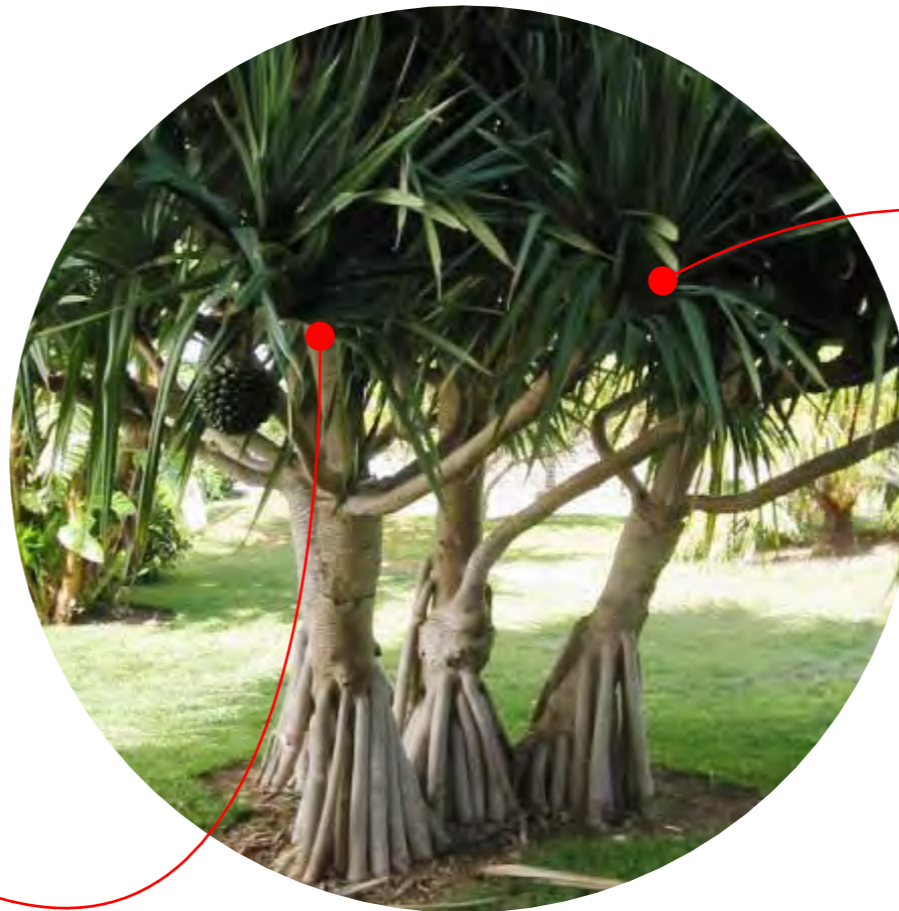
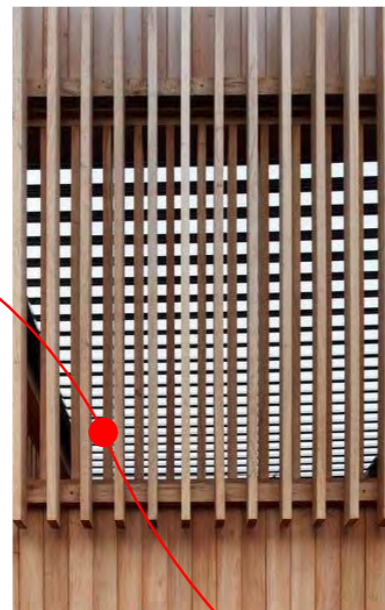
DRAWING  
**FINISHES CONCEPT - 01**  
 PROJECT NO. **2685-366** DRAWING NO. **DA-18** ISSUE **C**





**BRK**  
**LOWER FLOOR FACE BRICK**  
 - LIGHT COLOURED FACE BRICK  
 - TEXTURE AND COLOUR INSPIRED BY LOCAL HEADLAND  
 - PROVIDES SOLID 'BASE' TO BUILDING

**FEATURE CONCRETE FINISH**  
 - MARKS PEDESTRIAN PATHS ACROSS CONCRETE DRIVEWAYS  
 - PROVIDES SUBTLE CONTINUATION OF 'SAND' AND 'DUNES'



**SCR-1**  
**UPPER FLOOR WINDOW BLADES**  
 - FIXED SOLID SCREENS  
 - PROVIDE PRIVACY  
 - ADD ARTICULATION TO FACADE  
 - COLOUR VARIETY TO PROVIDE IDENTITY

**BAL 1 & SCR-2**  
**UPPER FLOOR SCREENS**  
 - METAL BATTENS SCREENS  
 - PROVIDE PRIVACY AND FILTER LIGHT  
 - ADD ARTICULATION TO FACADE

**SCR-3**  
**GROUND FLOOR SCREENS**  
 - TIMBER BATTEN SCREENS  
 - PRIVACY AND FILTERED LIGHT  
 - ADD ARTICULATION

**ROOFS & SOFFIT**  
**UPPER FLOOR SCREENS**  
 - EAVES AND EXPOSED RAFTER TAILS  
 - DRAWS INSPIRATION FROM COASTAL FLORA

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WINTER SOLSTICE 9AM

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THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
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## The Dunes

DRAWING

### SUN STUDIES - WINTER SOLSTICE 9AM

PROJECT NO.

**2685-366**

DRAWING NO.

**DA-20**

ISSUE

**C**





WINTER SOLSTICE 12PM



ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

## The Dunes

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**SUN STUDIES - WINTER SOLSTICE 12PM**

PROJECT NO. **2685-366** DRAWING NO. **DA-21** ISSUE **C**





WINTER SOLSTICE 3PM



ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

## The Dunes

DRAWING  
**SUN STUDIES - WINTER SOLSTICE 3PM**

PROJECT NO. **2685-366** DRAWING NO. **DA-22** ISSUE **C**





EQUINOX 9AM



**APPROVED**  
 THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

# The Dunes

DRAWING  
**SUN STUDIES - EQUINOX 9AM**

PROJECT NO. **2685-366** DRAWING NO. **DA-23** ISSUE **C**





EQUINOX 12PM

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 THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

# The Dunes

DRAWING  
**SUN STUDIES - EQUINOX 12PM**

PROJECT NO. **2685-366** DRAWING NO. **DA-24** ISSUE **C**





EQUINOX 3PM



ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

**The Dunes**

DRAWING  
**SUN STUDIES - EQUINOX 3PM**  
 PROJECT NO. **2685-366** DRAWING NO. **DA-25** ISSUE **C**





SUMMER SOLSTICE 9AM



**APPROVED**  
 THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

**The Dunes**

DRAWING  
**SUN STUDIES - SUMMER SOLSTICE 9AM**

PROJECT NO. **2685-366** DRAWING NO. **DA-26** ISSUE **C**





SUMMER SOLSTICE 12PM



**APPROVED**  
THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

**The Dunes**

DRAWING  
**SUN STUDIES - SUMMER SOLSTICE 12PM**

PROJECT NO. **2685-366** DRAWING NO. **DA-27** ISSUE **C**







SUMMER SOLSTICE 3PM



ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

# The Dunes

## DRAWING SUN STUDIES - SUMMER SOLSTICE 3PM

PROJECT NO. **2685-366** DRAWING NO. **DA-28** ISSUE **C**



# 3 Dunes Court, Yamba

## LANDSCAPE SKETCH PLANS

### REDDOG ARCHITECTS

**Address** 3 Dunes Court, Yamba NSW 2464  
**RPD** Lot 16 on DP1047026  
**Client** David and Justine Lovell  
**Architect** Reddog Architects  
**Landscape Architect** SLR Consulting

#### DRAWING REGISTER

DRAWING NUMBER	DRAWING DESCRIPTION
620.30273.00000	COVERSHEET, PLANT SCHEDULE
620.30273.00000 - 1	PLANT IMAGES
620.30273.00000 - 2	PLANT IMAGES
620.30273.00000 - 3	LANDSCAPE PLAN - GROUND LEVEL

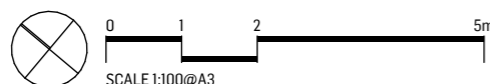
ISSUE	DESCRIPTION	CHECKED	APPROVED	DATE
A	ISSUED FOR CLIENT REVIEW	DB	DB	10/02/2021
B	ISSUED FOR DA	DB	DB	10/02/2021

#### PLANT SCHEDULE

TREES & PALMS		
SPECIES	COMMON NAME	POT SIZE
<i>Melaleuca leucadendra</i>	Weeping Paperbark	25L
<i>Cupaniopsis anacardioides</i> V	Tuckeroo	25L
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	25L
<i>Banksia integrifolia</i>	Coast Banksia	25L
<i>Hibiscus tiliaceus</i>	Sea Hibiscus	25L
<i>Livistona australis</i>	Cabbage-tree palm	25L
<i>Rhapis excelsa</i>	Broadleaf lady palm	25L
<i>Ravenala madagascariensis</i>	Travellers Palm	25L
<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	25L
<i>Pandanus pedunculatus</i>	Screwpine	25L
CLIMBERS		
<i>Ficus pumila</i>	Climbing Fig	140mm
<i>Trachelospermum jasminoides</i>	Star Jasmine	140mm

#### PLANT SCHEDULE

SHRUBS		
<i>Acacia 'Grey Wattle'</i>	Grey Wattle	140mm
<i>Alpinia caerulea</i>	Native Ginger	140mm
<i>Austromyrtus dulcis</i>	Midgen Berry	140mm
<i>Banksia robur</i>	Swamp Banksia	140mm
<i>Cordyline fruticosa rubra</i>	Cordyline	140mm
<i>Adenanthos sericeus</i>	Woolly Bush	140mm
<i>Westringia fruticosa</i>	Coastal rosemary	140mm
<i>Xanthorrhoea glauca</i>	Grass Tree	140mm
<i>Doryanthes excelsa</i>	Gynea lilly	140mm
<i>Heliconia angusta</i>	Red Christmas	140mm
<i>Strelitzia reginae</i>	Bird of Paradise	140mm
<i>Hymenocallis littoralis</i>	Spider Lilly	140mm
<i>Syzygium luehmannii</i>	Small Leaved Lilly Pilly	140mm
<i>Acmena smithii</i>	Lilly Pilly	140mm
<i>Alpinia zerumbet</i>	Variegated Shell Ginger	140mm
GROUNDCOVERS		
<i>Carpobrotus glaucescens</i>	Pig Face	140mm
<i>Hardenbergia violacea</i>	False Sarsaparilla	140mm
<i>Juniperus conferta</i>	Shore Juniper	140mm
<i>Liriope muscari 'Evergreen Giant'</i>	Evergreen Giant	140mm
<i>Poa poiformis</i>	Coast Tussock-Grass	140mm
<i>Lomandra hystrix</i>	Mat Rush	140mm
<i>Lomandra longifolia</i>	Spiny Headed Mat Rush	140mm
<i>Carex testacea</i>	Orange New Zealand Sedge	140mm
<i>Pennisetum setaceum</i>	Fountaingrass	140mm
<i>Philodendron xanadu</i>	Xanadu	140mm
<i>Senecio serpens</i>	Blue Chalksticks	140mm
<i>Gazania rigens</i>	Treasure Flower	140mm
<i>Hymenocallis lioralis</i>	Spider Lily	140mm
<i>Trachelospermum jasminoides</i>	Star Jasmine	140mm



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A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
B	23.09.21	BA	FOR COORDINATION	PW
C	28.09.21	BA	DRAFT IR RESPONSE	PW

## The Dunes

DRAWING

### LANDSCAPE - PLANT SCHEDULE SHEET 1

PROJECT NO.

2685-366

DRAWING NO.

DA-29

ISSUE

C



Print Date: 11 October 2021, 2:54 PM

**FEATURE TREES**



*Melaleuca leucadendra*  
Weeping Paperbark



*Cupaniopsis anacardioides*  
Tuckeroo



*Elaeocarpus reticulatus*  
Blueberry Ash



*Banksia integrifolia*  
Coast Banksia



*Hibiscus tiliaceus*  
Cottonwood

**FEATURE PALMS**



*Livistona australis*  
Cabbage-Tree Palm



*Rhaps excelsa*  
Broadleaf Lady Palm



*Ravenala madagascariensis*  
Travellers Palm

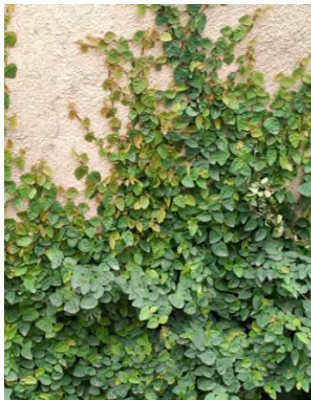


*Archontophoenix cunninghamiana*  
Bangalow Palm



*Pandanus pedunculatus*  
Screwpine

**CLIMBERS**



*Ficus pumila*  
Climbing Fig



*Trachelospermum jasminoides*  
Star Jasmine

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Grey Wattle



*Alpinia caerulea*  
Native Ginger



*Austromyrtus dulcis*  
Midgen Berry



*Banksia robur*  
Swamp Banksia



*Cordyline fruticosa 'rubra'*



*Adenanthos sericeus*  
Woolly Bush



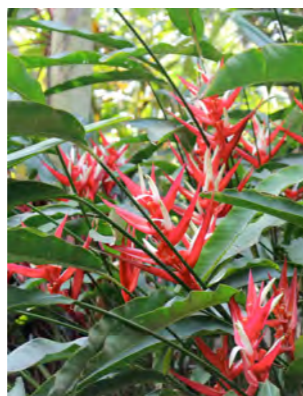
*Westringia fruticosa*  
Coastal Rosemary



*Xanthorrhoea glauca*  
Grass Tree



*Doryanthes excelsa*  
Gynea Lilly



*Heliconia angusta*  
Red Christmas



*Strelitzia reginae*  
Bird of Paradise



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Small Leaved Lilly Pilly



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**GROUNDCOVERS**



*Carpobrotus glaucescens*  
Pig Face



*Hardenbergia violacea*  
False Sarsaparilla



*Juniperus conferta*  
Shore Juniper



*Liriope muscari*  
Evergreen Giant



*Poa poiformis*  
Coast Tussock-Grass



*Lomandra hystrix*  
Mat Rush



*Lomandra longifolia*  
Spiny Headed Mat Rush



*Carex testacea*  
Orange New-Zealand Sedge



*Pennisetum setaceum*  
Fountaingrass



*Philodendron xanadu*  
Xanadu



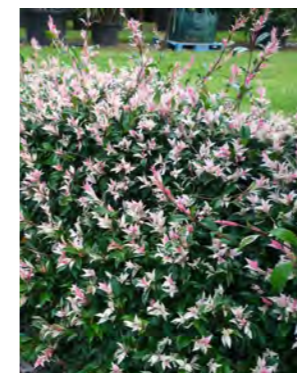
*Senecio serpens*  
Blue Chalksticks



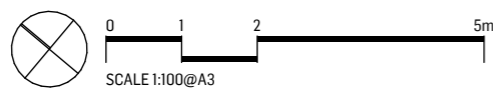
*Gazania rigens*  
Treasure Flower



*Hymenocallis littoralis*  
Spider Lilly



*Trachelospermum jasminoides*  
Star Jasmine



**APPROVED**  
THE DUNES DESIGN PANEL

ISSUE	DATE	BY	DESCRIPTION	CHKD
A	10.06.21	BA	DEVELOPMENT APPLICATION	LG
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**The Dunes**

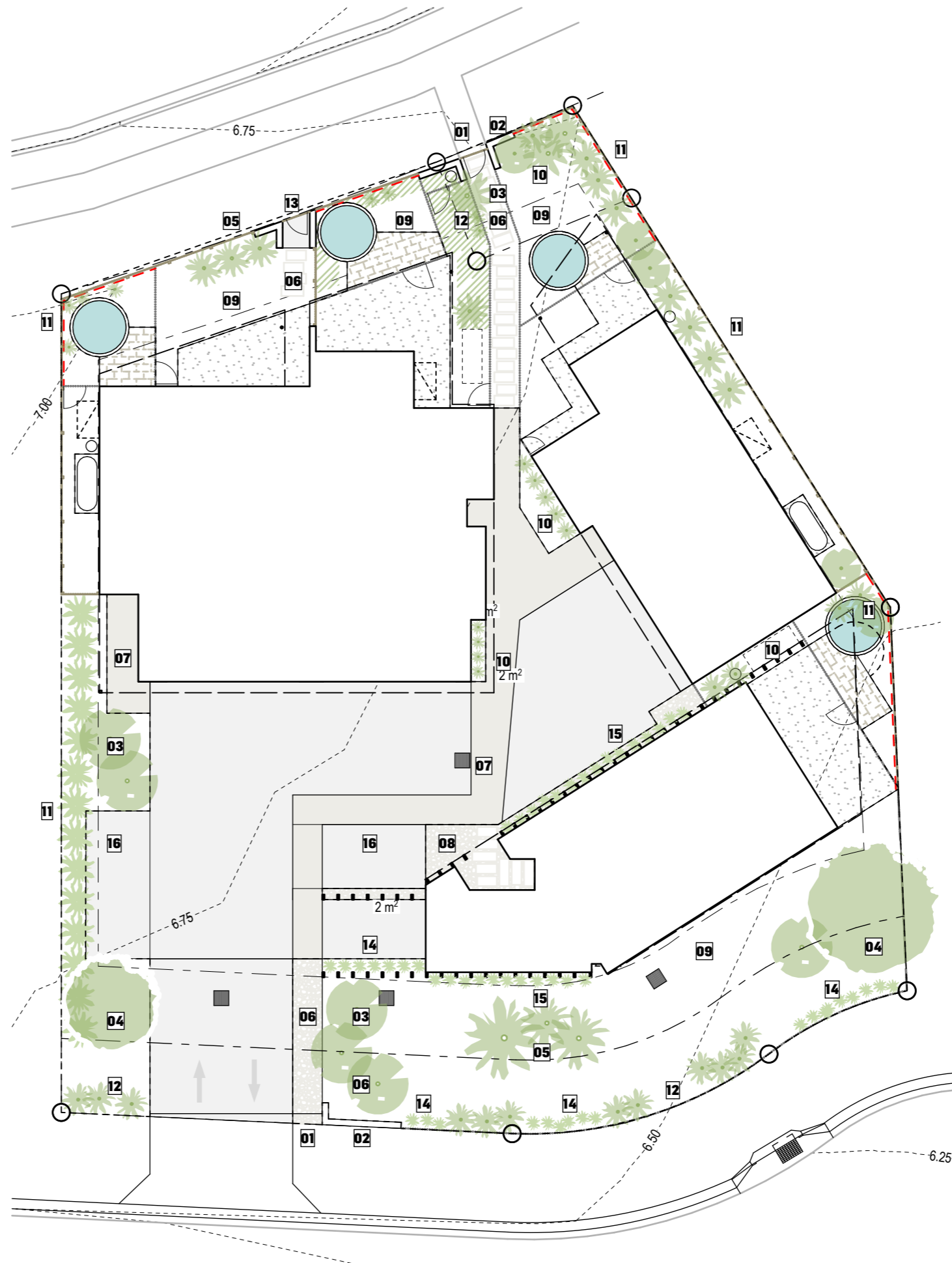
DRAWING  
**LANDSCAPE - PLANT SCHEDULE SHEET 3**

PROJECT NO. **2685-366** DRAWING NO. **DA-31** ISSUE **C**

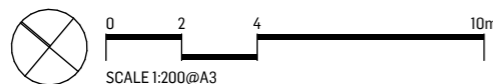


**LEGEND**

- 01 ARRIVAL POINT & ENTRY SIGNAGE
- 02 ENTRY FEATURE WALL
- 03 FEATURE TREE BEYOND ENTRY WALL - PANDANUS (SCREWPIKE)
- 04 FEATURE COASTAL TREES - TUCKEROO, COTTONWOOD
- 05 FEATURE COASTAL PALMS - CABBAGE PALM, BANGALOW PALM
- 06 SANDSTONE PAVERS WITH GROUND COVER PLANTING BETWEEN PAVERS - PIGFACE, BLUE CHALKSTICKS
- 07 EXPOSED AGGREGATE CONC. - SAND COLOURED
- 08 GRAVEL WITH FEATURE GROUND COVER - ORANGE NZ SLEDGE, COAST TUSSOCK-GRASS
- 09 TURF
- 10 COASTAL PLANTING - BROADLEAF LADY PALM, RED CHRISTMAS, SPIDER LILLY, XANADU
- 11 NATIVE SCREEN PLANTING - GREY WATTLE, SWAMP BANKSIA, LILLY PILLY
- 12 FEATURE COASTAL PLANTING - CABBAGE-TREE PALM, SWAMP BANKSIA, GRASS TREE
- 13 PRIVATE ENTRY WITH FEATURE WALL
- 14 FEATURE GROUND COVER - FOUNTAIN GRASS
- 15 TRELLIS STRUCTURE WITH CLIMBERS - CLIMBING FIG, STAR JASMINE
- 16 EXPOSED AGGREGATE CONC. - GREY



**LANDSCAPE PLAN**  
**1:200**



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**The Dunes**

DRAWING  
**LANDSCAPE PLAN**

PROJECT NO. **2685-366**  
DRAWING NO. **DA-32**

ISSUE  
**C**



**SECTION 4.15 EVALUATION FOR DA2021/0547**  
**- Lot 16 DP 1261938**  
**- 3 Dunes Court YAMBA NSW 2464**

**Proposal:** Development Application DA2021/0547 was lodged on 19 July 2021 for the construction of 5 multi units dwellings and swimming pools. In response to a request for further information regarding compliance with the Development Control Plan in terms of parking and private open space the Applicant has amended the proposed development. The amended design has resulted a reduction of 1 unit from 5 to 4 and one unit becoming single storey instead of 2.

**(1) Matters for consideration – General**

**In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:**

**(a) the provisions of:**

**(i) any environmental planning instrument, and**

State Environmental Planning Policy 55 – Remediation of Land

Clause 7 of the SEPP states that a consent authority must not consent to the carrying out of any development on land unless:

- (a) it has considered whether the land is contaminated, and*
- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

The estate is the last remaining part of the Masterplan (Precinct 2) for the Beachside Development. The land has previously been subject to drainage works, has been cleared and used for stockpiling of soil. The area or precinct's of the Beachside development have been subject to various residential and tourist related developments. Included with the original subdivision application for the site a soil contamination analysis report which did not identify contaminants of significant concentrations. After carrying out the initial evaluation there is sufficient information demonstrating that the land is suitable for the proposed use in accordance with the Policy. No further investigation is required and the application can be determined in the normal way.

State Environmental Planning Policy (Coastal Management) 2018

The subject site is identified as being within the coastal use and coastal environmental area of the coastal zone. The lot is not located within a wetland or in proximity to a wetland. The SEPP states that development consent must not be granted to development on land that is wholly or partly within the coastal use area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on:

- (i) existing, safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,*
- (ii) overshadowing, wind funnelling and the loss of views from public places to foreshores,*
- (iii) the visual amenity and scenic qualities of the coast, including coastal headlands,*
- (iv) Aboriginal cultural heritage, practices and places,*
- (v) cultural and built environment heritage and has taken into account the surrounding coastal and built environment, and the bulk, scale and size of the proposed development.*

It is not considered that the development will impact on any of the matters (i) – (v) above as access to the foreshore will remain unchanged. The bulk, scale and size of the proposed development are not considered to detract from the amenity of the area and is in keeping with the current character of the locality.

The SEPP states that development consent must not be granted to development on land that is wholly or partly within the coastal environment area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on:

- (a) the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment,*
- (b) coastal environmental values and natural coastal processes,*
- (c) the water quality of the marine estate (within the meaning of the Marine Estate Management Act 2014), in particular, the cumulative impacts of the proposed development on any of the sensitive coastal lakes identified in Schedule 1,*
- (d) marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms,*
- (e) existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,*
- (f) Aboriginal cultural heritage, practices and places,*
- (g) the use of the surf zone.*

It is not considered that the development will impact on any of the matters (a) – (g) above as access to the foreshore will remain unchanged. The proposed development can suitably manage storm water to not impact on water quality or coastal processes. The proposal will not result in clearing of native vegetation or marine vegetation and is not in proximity to any public spaces. An AHMIS search did not show any areas of Aboriginal significance and the subject site is not within the surfzone. It is therefore deliberated that the proposed development is consistent with the policy.

#### Clarence Valley Local Environmental Plan 2011

The subject is zoned SP3 Tourist under the *Clarence Valley Local Environmental Plan 2011*. The proposed multi unit dwellings and swimming pools are permissible with consent in the zone. The objectives of the zone are as follows:

- To provide for a variety of tourist-oriented development and related uses.

- To enable a range of residential accommodation that is compatible with the provision of tourism uses to assist with the off season viability of tourist-based development.
- To provide for tourist accommodation that does not compromise the environmental, scenic or landscape qualities of the land.
- To enable retail and business premises that complement tourism-based development without eroding the retail hierarchy of the area.

The proposed development is not inconsistent with the objectives.

Clause 4.3: Height of Buildings:

There is a 9m maximum height limit under Clause 4.3, the proposed buildings are up to 7.4m in height. Upper level windows and deck areas that are adjacent common boundaries have been fitted with privacy screens and bladed screens to reduce the potential for issues to arise in terms of privacy. Shadow diagrams submitted do not show an unreasonable level of overshadowing to adjoining lots and private open space for those lots will retain solar access.

Clause 5.10: Heritage Conservation:

The subject land is not within a heritage conservation area or in proximity to a heritage item. A search of AHIMS did not reveal any Aboriginal objects or places on or near the subject land.

Clause 5.21: Flood Planning:

The subject site is not identified as being flood prone.

Clause 7.1: Acid Sulfate Soils:

The subject land is identified as being Class 5 land under the Acid Sulfate Soils map. Works are not proposed below 5m AHD. The proposed development is not considered to be inconsistent with the proposed development.

Clause 7.2: Earthworks:

There are minor earthworks required for the proposed development for footings and piers/slab. Sediment and erosion controls are required on-site to minimise the transport of sediment off-site and onto adjoining land for the duration of works. It is considered that the proposal is consistent with the objectives of the zone.

Clause 7.8: Essential Services:

The subject site has access to reticulated water, electricity, sewer and storm water will be discharged into Council's drainage system. The site has access to Dunes Court, a Council maintained road, access to River Street is not permitted.

- (ii) **any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the draft instrument has been deferred indefinitely or has not been approved), and**

Nil.

- (iii) **any development control plan, and**



Clause	Control	Complies
C4 Streetscape Requirements		The revised design including removing a unit and Unit 4 going from two storey to single storey has reduced the overall bulk and scale of the development to Dunes Court. Further, the landscape plan submitted includes larger tree species and a landscaped trellis for part of the Dunes Court elevation which will help soften the overall impact on streetscape.
C5 Building and Design Requirements		Cut and fill has been minimized and valid BASIX Certificate has been submitted.
C8 Types of Residential Development	Multi Unit Housing	Permissible in the zone
C11 Minimum Site area for multi unit housing	nil	Site is able to accommodate proposed use.
C13 Landscaping – SP3 Zone	Landscape Plan to be Submitted	A landscape plan has been submitted with the application, the number and type of species are considered to be suitable.
C14 Landscaped Area – SP3 Zone	35%	35% of the subject site is landscaped, this excludes pools from the calculation and has taken a 50% area for paved and gravel walk ways where ground covers will be planted between.
C15 Private Open Space Requirements SP3	Level area of 50m <sup>2</sup> , minimum dimension of 4.5m and solar access.	All areas are at least 50m <sup>2</sup> , level and have a large terrace area in addition to a pool for each unit. Each area of private open space is located on the eastern or north side to maximise the solar access to the area. With the exception of the single storey unit, the other 3 units have access to first

		floor balconies that supplement the ground floor open space.
C17 Setbacks	Front 6m  Side 1.5m  Setbacks from Services	The front setbacks to Dunes Court comply, the nearest point of unit 4 is 6m from the frontage. The height of the buildings is over 6.5m but less than 9m. The side and rear setbacks comply with the minimum. As the lot is not a corner lot the secondary frontage setbacks are not considered to apply in the circumstances. No buildings encroach over sewer easements over the property.
C18 Development on Flood Liable Land	Minimise impact to flood behaviour and risk to property and human life.	Lot is not flood prone.
C19 Building Height	9m	Proposed building height is 7.4m.
C22 Acid Sulfate Soils	Minimise disturbance of acid sulfate soils	Refer to comments under LEP.
C23 Bushfire Prone Lane		Subject site is not mapped as bushfire prone.
C24 Land Slip		Subject site is not identified in area subject to land slip or geotechnical hazards.
C25 Waste Management		Waste management plan to be complied with during construction and ongoing operation.
C26 Provision of Essential Services	Access to water, sewer, telecommunications, electricity, stormwater and road access	The lot has access to all services and has suitable road frontage to Dunes Court.
C31 Fences and Walls – SP3 Zone	1.2m for front fence and 1.8m for side fences	No front fence proposed, fences rear of building line comply with the 1.8m height.
F Parking and Vehicular Access	1 space for 1 & 2 bedroom units. 1.5 spaces per 3 bedroom units. 2 spaces per 4 bedroom units.	3 x 3 bedroom units proposed and 1 x 2 bedroom unit proposed. As there is not more than 6 units a designated service vehicle space is

	1 visitor car spaces per 2 units or part thereof.	not required.  Required 6 car spaces for units and 2 visitor spaces. Total = 8  2 undercover car spaces are proposed for each of the 3 bed units and 1 covered car space is available for the 1 bedroom unit. Furthermore, 2 visitor car spaces are provided. Total = 9.
G Sustainable Water Controls		Refer to engineers comments, no additional OSD required as subdivision of site catered for quantity and quality measures in the overall development.
H Erosion and Sediment Controls		Deemed to comply statement submitted and conditions to be included to enforce compliance.
P Yamba Hill Controls		Site is not within the area identified under Yamba Hill Controls

**(iia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and**

N/A.

**(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), that apply to the land to which the development application relates,**

The proposed development is not inconsistent with the prescribed matters.

**(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.**

**(c) the suitability of the site for the development,**

The subject site is not identified as being bushfire or flood prone. The site is within a new estate in an area of a mix of residential and tourism-based developments. Subject to

appropriate conditions to manage the site during construction the site is suitable for the proposed development.

**(d) any submissions made in accordance with this Act or the regulations,**

The Application was notified in accordance with the Community Participation Plan, 12 submissions were received during the exhibition period. Upon receiving the amended design, those that had put in submissions during the initial exhibition period were given the opportunity to comment on the amended design, a further 4 submissions were received. The only new issue raised in the additional submissions received was relating to leasing of the units for short term tourist accommodation.

Compliance with Development Control Plan

A main concern raised in the submissions received was that the proposal does not comply with the Clarence Valley Council requirements under the Development Control Plan. Further it does not comply with the Dunes Design Guidelines in terms of there being no provision for boats or caravan storage. Refer to DCP Compliance assessment above. Further Clause 1.9A (1) of the LEP reads as follows:

**1.9A Suspension of covenants, agreements and instruments**

*(1) For the purpose of enabling development on land in any zone to be carried out in accordance with this Plan or with a consent granted under the Act, any agreement, covenant or other similar instrument that restricts the carrying out of that development does not apply to the extent necessary to serve that purpose.*

Council is not required to uphold the Dunes Design Guidelines as Council has not imposed the restriction on development of the site. Furthermore, the amended plans have been endorsed by the Dunes Design Panel.

On-Site Parking and Traffic

The issues raised in submissions received regarding on-site parking and traffic are as follows:

- Limited off-street visitor parking being that the development is at the head of the cul-de-sac,
- Concern for pedestrian safety due to vehicles parked on the street,
- Garbage collection and service/emergency vehicles access due to on-street parking,
- Increased traffic and road congestion,
- Additional traffic generated by short term rental use

Comment:

The original proposal did not provide the minimum number of visitor car spaces on-site as per the DCP. The amended design has resulted in a decrease in the number of parking spaces required to be provided on-site. The provision of on-site parking now complies with the minimum requirement under the DCP, as highlighted in the table above.

Impact on Amenity

The issues raised in submissions received regarding impact on amenity are as follows:

- Impact on the amenity and streetscape of the estate being that the majority of lots will be developed for single dwellings,

- The bulk and scale of this development does not represent other developments in the estate, and
- Overdevelopment of the site

Comment:

The subject site is zoned SP3 Tourist under the LEP which provides for a mix of residential, tourist and commercial land uses. The Dunes Estate has largely been developed into single detached dwellings however the objectives of the zone direct land uses towards tourist orientated development or land uses that compliment tourism. The proposed density of the site is consistent with the surrounding smaller lots of the Beachside, Links and Sands developments in the surrounding area. The revised design including removing a unit and Unit 4 going from two storey to single storey has reduced the overall bulk and scale of the development to Dunes Court. Further, the landscape plan submitted includes larger tree species and a landscaped trellis for part of the Dunes Court elevation which will help soften the overall impact on streetscape.

Other Issues.

*Adverse impacts on privacy and overlooking from balconies and first floor windows.*

Comment: Proposed plans show upper level windows and deck areas that are overlook adjoining properties have been fitted with privacy screens and bladed screens to reduce the potential for overlooking and privacy issues.

*Access to River Street is not permitted as the fence installed by the developer is not to be altered.*

Comment: A restriction on title exists for lots with frontage to River Street and Rocky Laurie Drive preventing access to these streets of which Council is listed as the authority to modify or release this easement. The terms of the restriction do not specify if this is only for vehicular, pedestrian access or both. Civil services raised no objection to the proposed pedestrian entries provided that from the property boundary a footpath was constructed to meet the existing footpath. Furthermore, the Dunes Design Panel have endorsed the proposed plans which identifies the pedestrian access.

*Use of dwellings for short term tourist accommodation.*

Comment: Tourist and visitor accommodation is a permissible use in the zone however this application has been lodged a multi-unit housing, a form of residential accommodation. As of 1 November 2021, the changes to State Environmental Planning Policy (Affordable Rental Housing) 2009 relating to short term visitor accommodation will come into effect. All lawfully constructed dwellings that are permitted to be used as residential accommodation, including multi unit dwellings, in all land-use zones can be used for short-term rental without further approval from Council provided fire standards are met, the premises is registered and the code of conduct is adhered to.

**(e) the public interest.**

The proposed development is in the public interest as it is not inconsistent with Council adopted policies and the objectives of the Act.

**Officer: James Hamilton, Development Planner**

**Date: 11/10/2021**