

**PROJECT:**

**PROPOSED 2 STOREY DWELLING WITH ATTACHED GARAGE**

**AT:**

**5 CARRINGTON STREET, PALMERS ISLAND, NSW, 2463**

**FOR:**

**GAY MARSDEN**

**PRELIMINARY ONLY**  
SUBJECT TO COUNCIL APPROVAL

**BASIX COMMITMENTS**

**WATER**

**FIXTURES:**

- ALL SHOWER HEADS TO BE A MINIMUM 4 STAR RATING (>4.5 BUT <=6L/min).
- ALL TOILETS TO BE MINIMUM A 4 STAR RATING.
- ALL KITCHEN & BATHROOM TAPS TO BE A MINIMUM 3 STAR RATING.

**ALTERNATIVE WATER:**

- TOTAL 3000 LITRE (MINIMUM) RAINWATER TANKS. 187m2 (min) OF ROOF AREA TO BE DIVERTED TO TANK. THIS TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- CONNECT TANK TO ALL TOILETS & CLOTHS WASHERS AND AT LEAST 1 OUTDOOR TAP FOR GARDENS.

**THERMAL**

- CEILING - R3.5 INSULATION.
  - ROOF - 55mm FOIL BACKED BLANKET.(LIGHT COLOUR ROOF WITH A SOLAR ABSORPTANCE <0.475).
  - WALLS - R2.0 INSULATION & FOIL WRAP TO EXTERNAL WALLS. (FRAMED FIBRE CEMENT)
  - LOWER FLOOR - CONCRETE SLAB ON GROUND (NO INSULATION)
  - UPPER FLOOR - TIMBER FRAMED FLOORS (NO INSULATION)
  - WINDOWS - SINGLE GLAZED LOW-E GLASS WITH TIMBER FRAMES
  - GLAZED DOORS - SINGLE GLAZED LOW-E GLASS WITH TIMBER FRAMES
- (REFER TO DOOR & WINDOW SCHEDULES FOR DETAILED GLAZING REQUIREMENTS)

**ENERGY**

**HOT WATER:**

- ELECTRIC STORAGE HOT WATER SYSTEM.

**COOLING:**

- CEILING FANS TO ALL BEDROOMS & LIVING AREAS.

**HEATING:**

- NO ACTIVE HEATING

**VENTILATION:**

- BATHROOMS TO HAVE DUCTED (TO ROOF OR FACADE) EXHAUST FANS WITH MANUAL ON/OFF SWITCH.
- KITCHEN TO HAVE DUCTED (TO ROOF OR FACADE) EXHAUST FAN WITH MANUAL ON/OFF SWITCH.
- LAUNDRY TO HAVE DUCTED (TO ROOF OR FACADE) EXHAUST FAN WITH MANUAL ON/OFF SWITCH.

**NATURAL LIGHTING (BOTH DWELLINGS):**

- WINDOWS TO BE INSTALLED TO AT LEAST 3 BATHROOMS/TOILETS IN THE DWELLING.

**APPLIANCES:**

- INDUCTION COOKTOP & ELECTRIC OVEN.
- FIXED OUTDOOR CLOTHS DRYING LINE TO BE INSTALLED.

**ALTERNATIVE ENERGY:**

- 2.0 KILOWATT (MIN) PHOTOVOLTAIC SYSTEM TO BE INSTALLED & CONNECTED TO THE DWELLINGS ELECTRICAL SYSTEM.

**GENERAL NOTES:**

- ALL EXHAUST FANS TO BE SELF CLOSING TYPE.
- ALL WINDOWS TO BE WEATHER STRIPPED.
- ALL GAPS & CRACKS TO BE SEALED.
- ALL GLAZING TO REFER TO BASIX CERTIFICATE FOR MINIMUM U & SHGC VALUES.
- PLEASE NOTE R-VALUES REPRESENT ADDED INSULATION AND NOT TOTAL R-VALUE.
- ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS.3999



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**1** 3D View 1

**NOTE:**

**AS PER THE CVC DPC THIS PROPOSED DWELLING IS LOCATED IN PRECINCT 2. IN THE EVENT THAT CONSENT SHALL CEASE FOR THIS SITE, THE DWELLING HAS BEEN DESIGNED SO THAT IT CAN BE RELOCATED OR REMOVED BY ROAD (IN SECTIONS). THE PROPOSED GARAGE WOULD BE DEMOLISHED AT THE OWNERS EXPENSE.**

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
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PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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TIM BERRY  
REGISTERED BUILDING PRACTITIONER (VBA)  
BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211



**BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**COVER SHEET**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
Building Design & Drafting

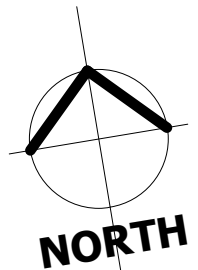
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SHEET SIZE: A3	SHEET No: A00
REF No: 20-044	ISSUE: DA-F



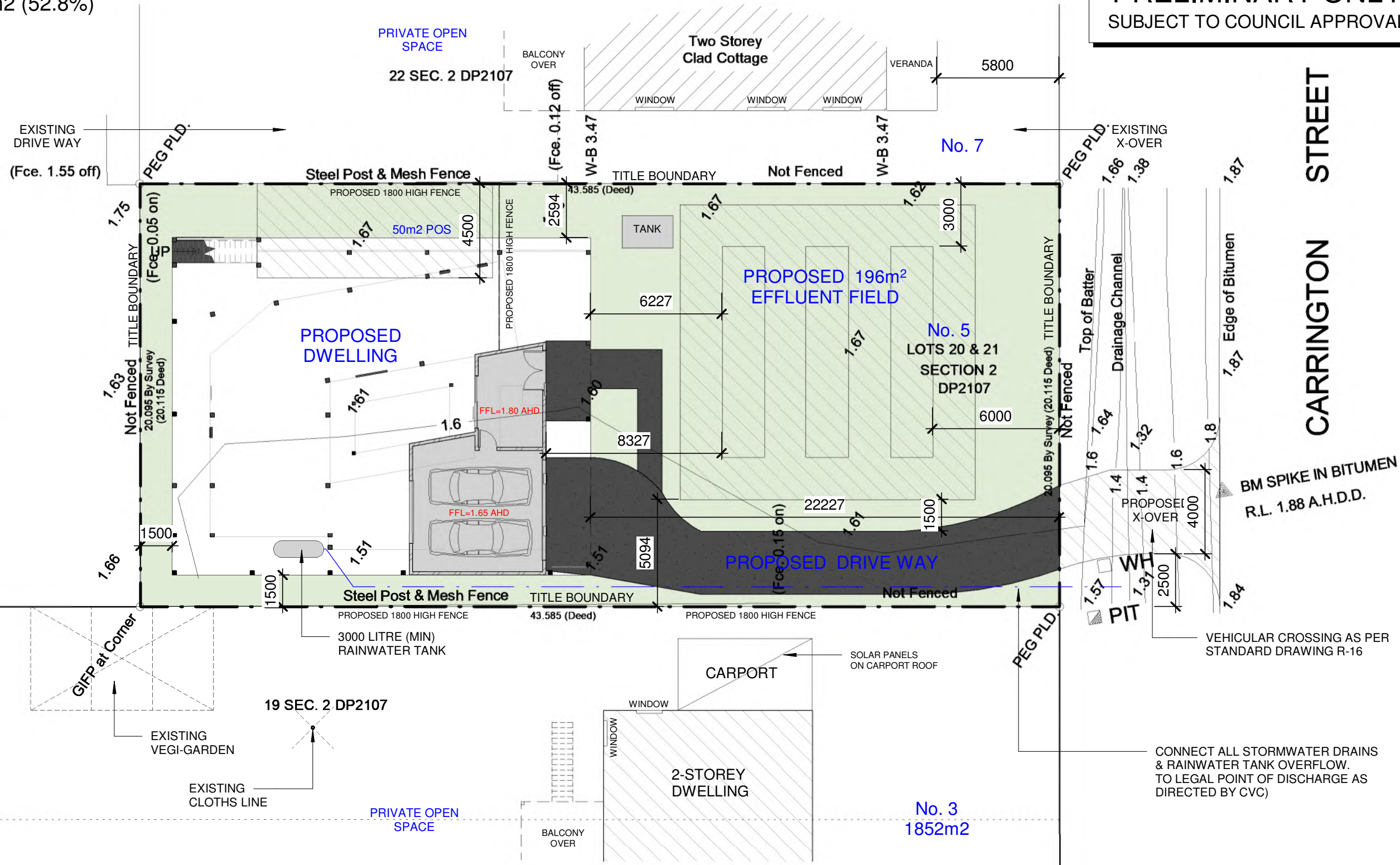
SITE AREA: 876m<sup>2</sup>  
 LANDSCAPED: 463m<sup>2</sup> (52.8%)

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PURVES STREET

CARRINGTON STREET



**1** SITE PLAN - LOWER 18 SEC. 2 DP2107  
 1 : 200

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**SITE PLAN - LOWER**

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 NSW, 2463  
 Lot 20 & 21 Sec 2 DP2107**

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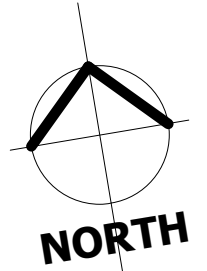
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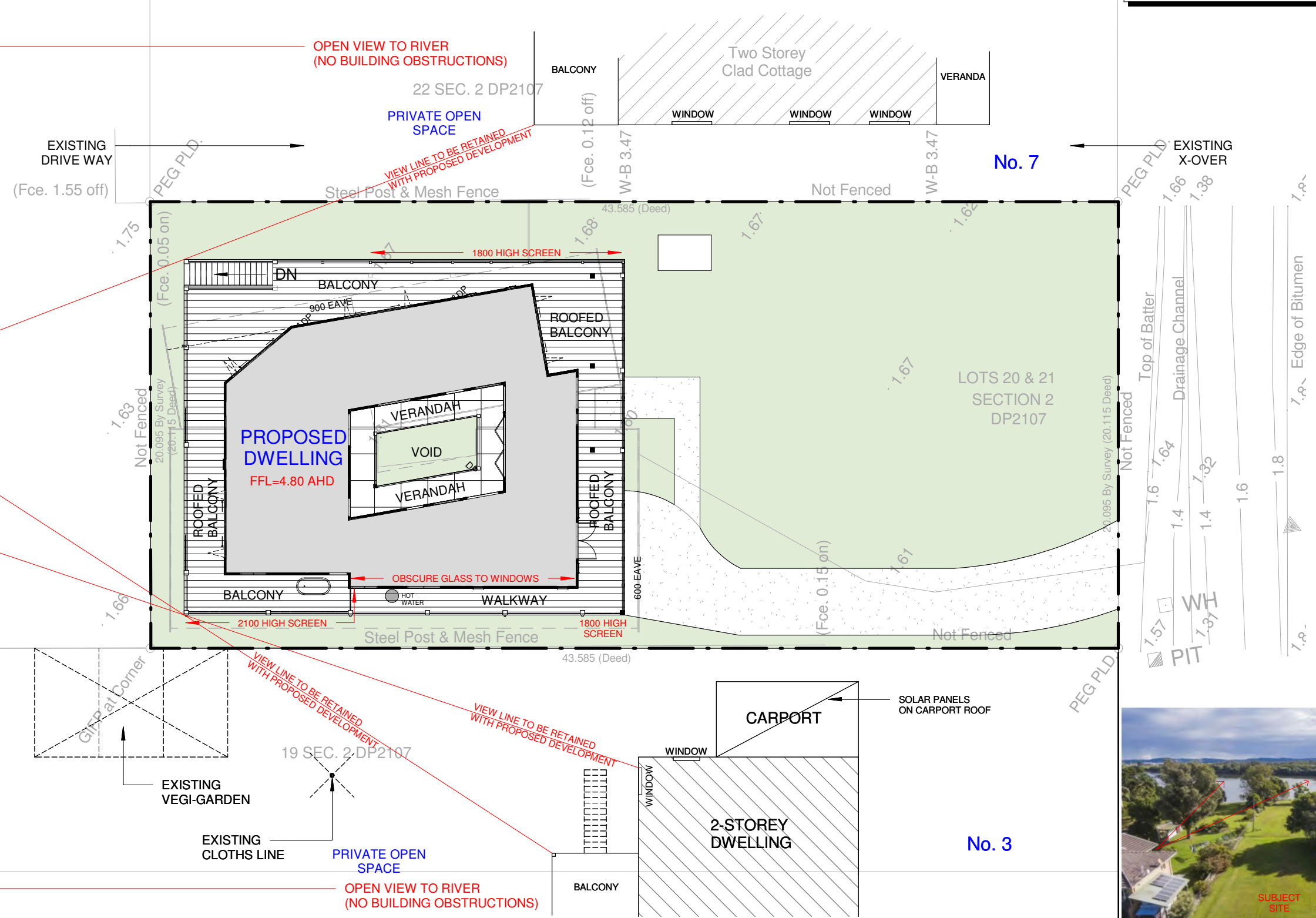
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SITE AREA: 876m<sup>2</sup>  
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STREET  
PURVES



**1** SITE PLAN - UPPER  
 1 : 200

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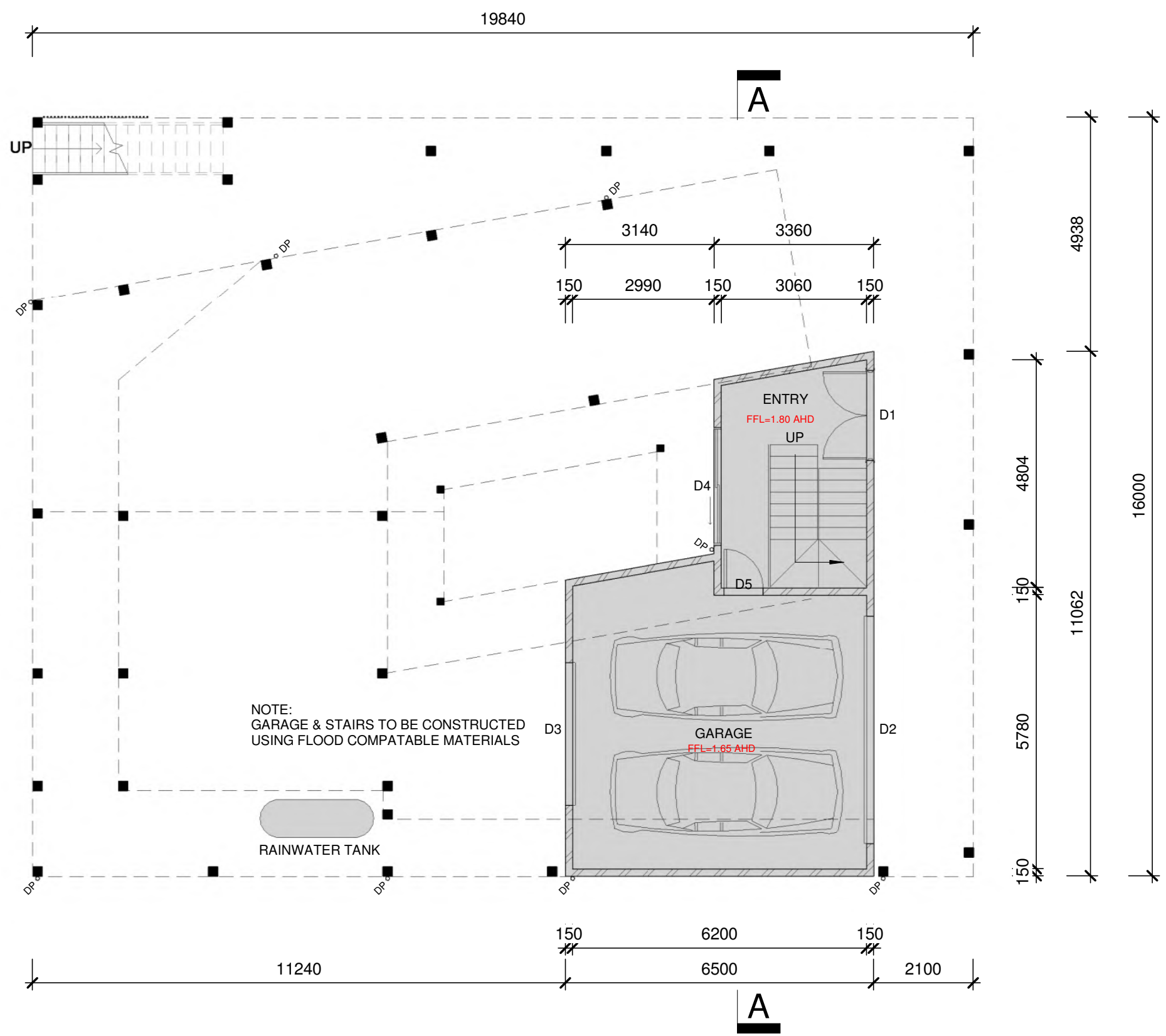
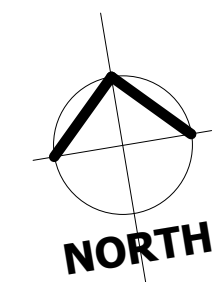
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**1 LOWER FLOOR**  
1 : 100

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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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TITLE:  
**LOWER FLOOR PLAN**

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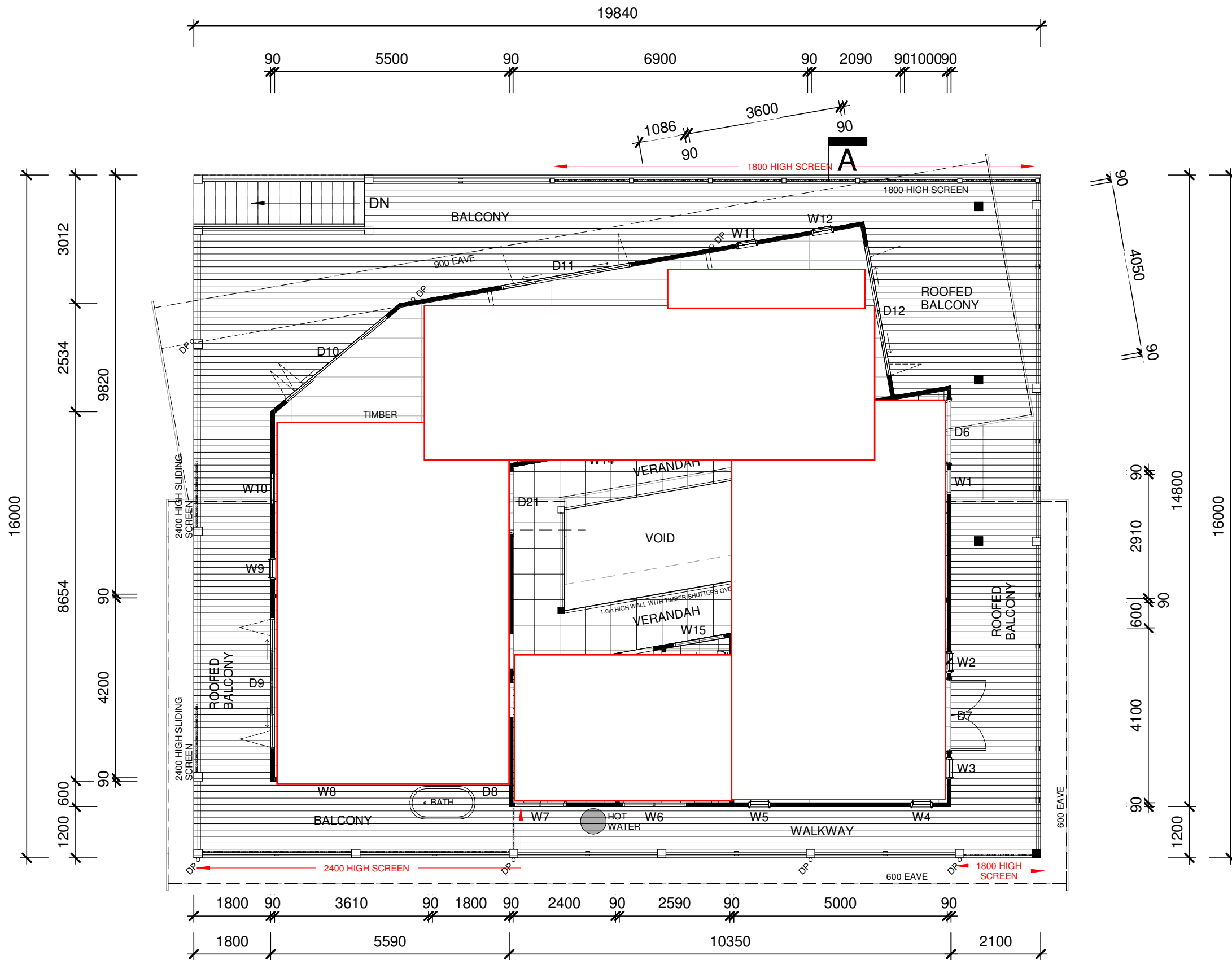
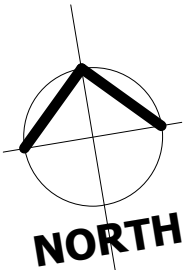
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**AREAS:**

UPPER LIVING:-	155.10m2
UPPER DECKS/BALC:-	148.00m2
GARAGE/ENTRY:-	56.66m2
<b>TOTAL DWELLING:</b>	<b>359.76m2</b>

**LEGEND**

- 90mm DIAMETRE PVC DOWNPIPE (PAINTED FINISH)
- FLOOR WASTE DRAIN
- INSTALL MAINS POWERED INTERCONNECTED SMOKE ALARMS, AS IND. ON PLAN, FITTED IN ACC. WITH AS. 3786
- EXHAUST FAN DUCTED TO OUTSIDE AIR
- CEILING FAN

**1 UPPER FLOOR**  
1 : 100

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## DOOR SCHEDULE

Mark	Height	Width	Glazing	Description	Frame Material	Location	Level	Comments
D1	2040	920	N/A	2x920	TIMBER	ENTRY	LOWER FLOOR	
D2	2250	4800	N/A	PANEL LIFT (COLORBOND)	BLOCKWORK	GARAGE	GARAGE FLOOR	
D3	2250	3000	N/A	ROLLER DOOR	BLOCKWORK	GARAGE	GARAGE FLOOR	
D4	2100	2400	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	SLIDING DOOR	TIMBER	ENTRY	LOWER FLOOR	
D5	2040	820	N/A	HOLLOW CORE TIMBER DOOR	TIMBER	ENTRY/GARAGE	LOWER FLOOR	
D6	2040	720	N/A	2x720	TIMBER	ENTRY	UPPER FLOOR	
D7	2040	820	N/A	2x820	TIMBER	BED 2	UPPER FLOOR	
D8	2040	820	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	GLASS DOOR	TIMBER	BED 1/ROBE	UPPER FLOOR	
D9	2100	3000	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	BI-FOLD DOORS	TIMBER	BED 1	UPPER FLOOR	
D10	2100	3000	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	BI-FOLD DOORS	TIMBER	LIVING	UPPER FLOOR	
D11	2100	3000	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	BI-FOLD DOORS	TIMBER	KITCHEN	UPPER FLOOR	
D12	2100	3000	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.342-0.418)	BI-FOLD DOORS	TIMBER	DINING	UPPER FLOOR	
D13	2040	820	N/A	SOLID CORE DOOR	TIMBER	BED 1	UPPER FLOOR	
D14	2040	820	N/A	CAVITY SLIDER	TIMBER	ENS 1.	UPPER FLOOR	
D15	2040	760	N/A	SOLID CORE DOOR	TIMBER	W.C.	UPPER FLOOR	
D16	2040	720	N/A	HOLLOW CORE TIMBER DOOR	TIMBER	W.C.	UPPER FLOOR	
D17	2040	720	N/A	2x720	TIMBER	BED 2	UPPER FLOOR	
D18	2100	2700	N/A	BI-FOLD DOORS	TIMBER	L'DRY	UPPER FLOOR	
D19	2040	570	N/A	2x520 HOLLOW CORE TIMBER DOORS	TIMBER	ENTRY	UPPER FLOOR	
D20	2040	820	N/A	SOLID CORE DOOR	TIMBER	KITCHEN	UPPER FLOOR	
D21	2040	720	N/A	2x720	TIMBER	LIVING	UPPER FLOOR	
D22	2040	820	N/A	HOLLOW CORE TIMBER DOOR	TIMBER	BED 1	UPPER FLOOR	
D23	2040	820	N/A	CAVITY SLIDER	TIMBER	ENS 2.	UPPER FLOOR	

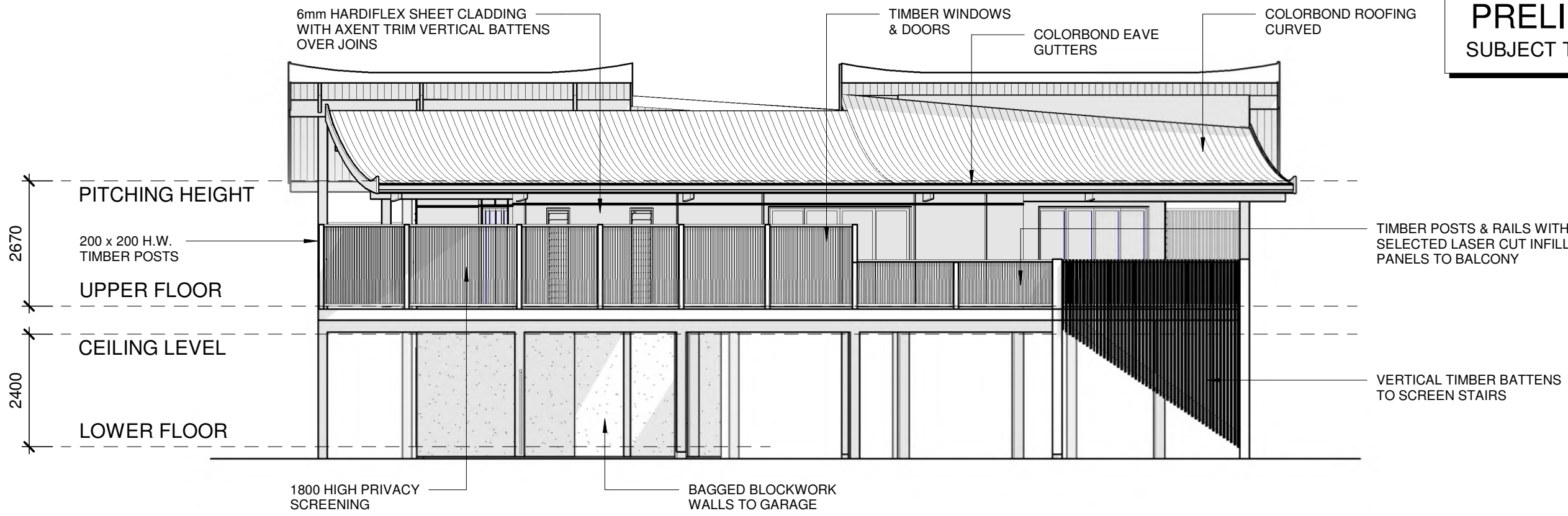
## WINDOW SCHEDULE

Mark	Height	Width	Glazing	Window Style	Material	Location	Level	Remarks
W1	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	ENTRY	UPPER FLOOR	
W2	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BED 2	UPPER FLOOR	
W3	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BED 2	UPPER FLOOR	
W4	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BED 2	UPPER FLOOR	OBSCURE GLASS
W5	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BED 2	UPPER FLOOR	OBSCURE GLASS
W6	600	1500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BATH	UPPER FLOOR	OBSCURE GLASS
W7	600	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	ENS.	UPPER FLOOR	OBSCURE GLASS
W8	2100	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	BED 1	UPPER FLOOR	OBSCURE GLASS
W9	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	STUDY	UPPER FLOOR	
W10		750	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	ROUND FIXED	TIMBER	LIVING	UPPER FLOOR	
W11	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	DINING	UPPER FLOOR	
W12	2100	500	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	DINING	UPPER FLOOR	
W13	2100	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	DINING	UPPER FLOOR	
W14	600	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	KITCHEN	UPPER FLOOR	
W15	600	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	W.C.	UPPER FLOOR	
W16	600	1200	SINGLE GLAZED LOW-E (U-VALUE: 3.7 SHGC: 0.315-0.385)	LOUVRE	TIMBER	KITCHEN	UPPER FLOOR	OBSCURE GLASS

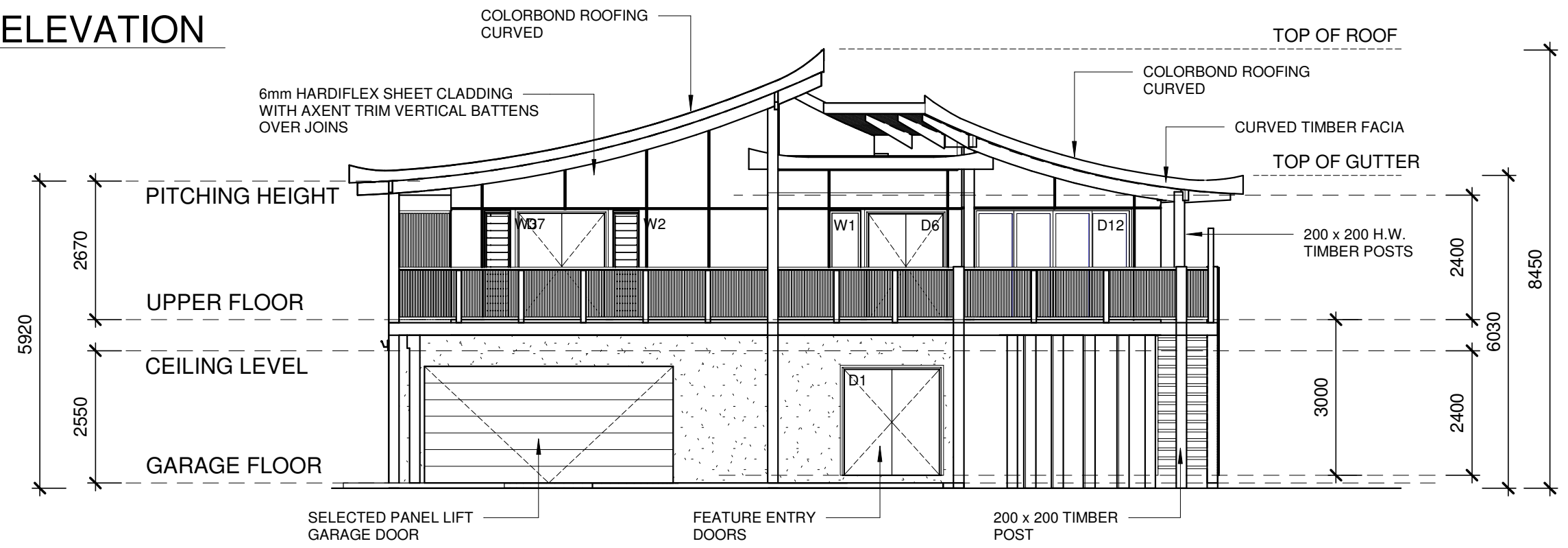
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**1 NORTH ELEVATION**  
 1 : 100



**2 EAST ELEVATION**  
 1 : 100

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**ELEVATIONS 1.**

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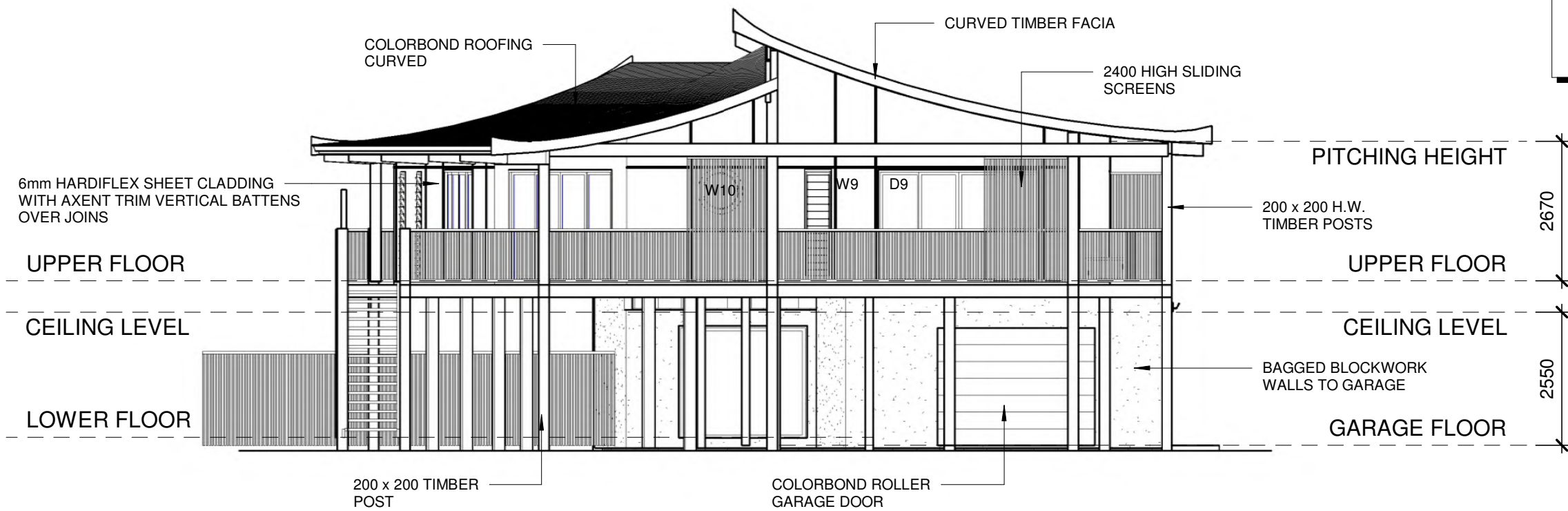
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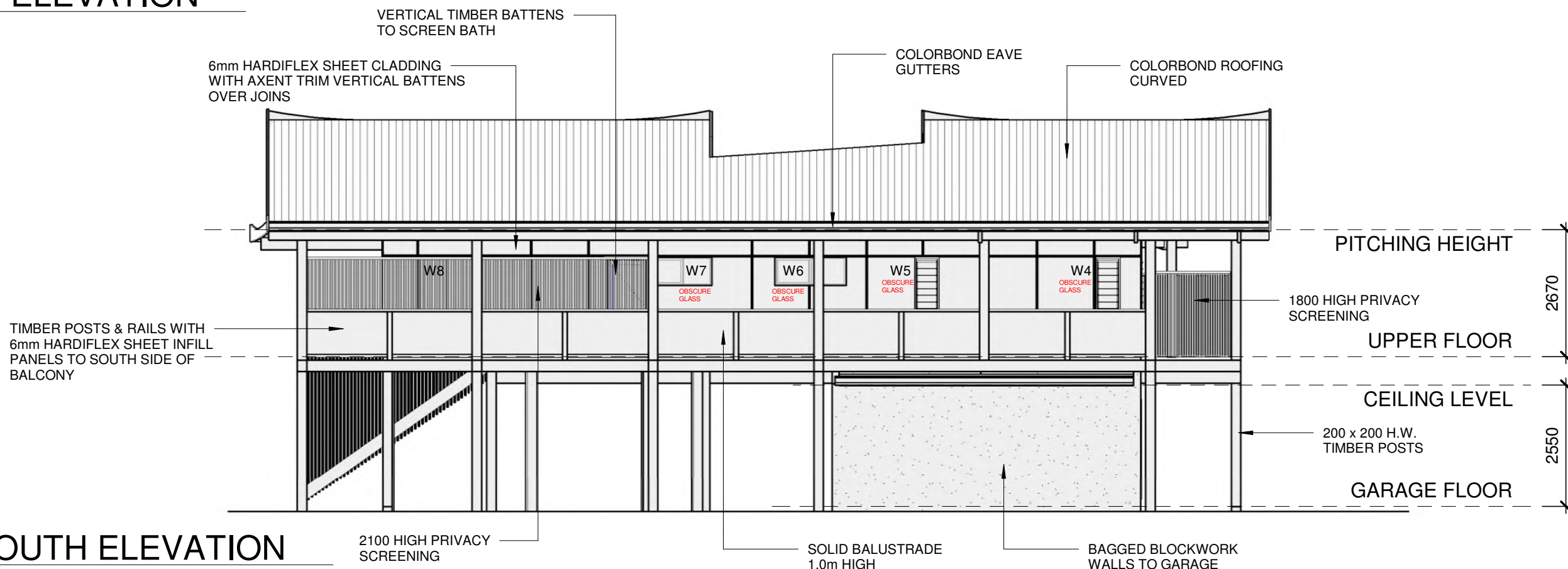
DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A06
REF No: 20-044	ISSUE: DA-F



**PRELIMINARY ONLY**  
SUBJECT TO COUNCIL APPROVAL



**1 WEST ELEVATION**  
1 : 100



**2 SOUTH ELEVATION**  
1 : 100

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
REVISIONS:			

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TIM BERRY  
REGISTERED BUILDING PRACTITIONER (VBA)  
BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**ELEVATIONS 2.**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

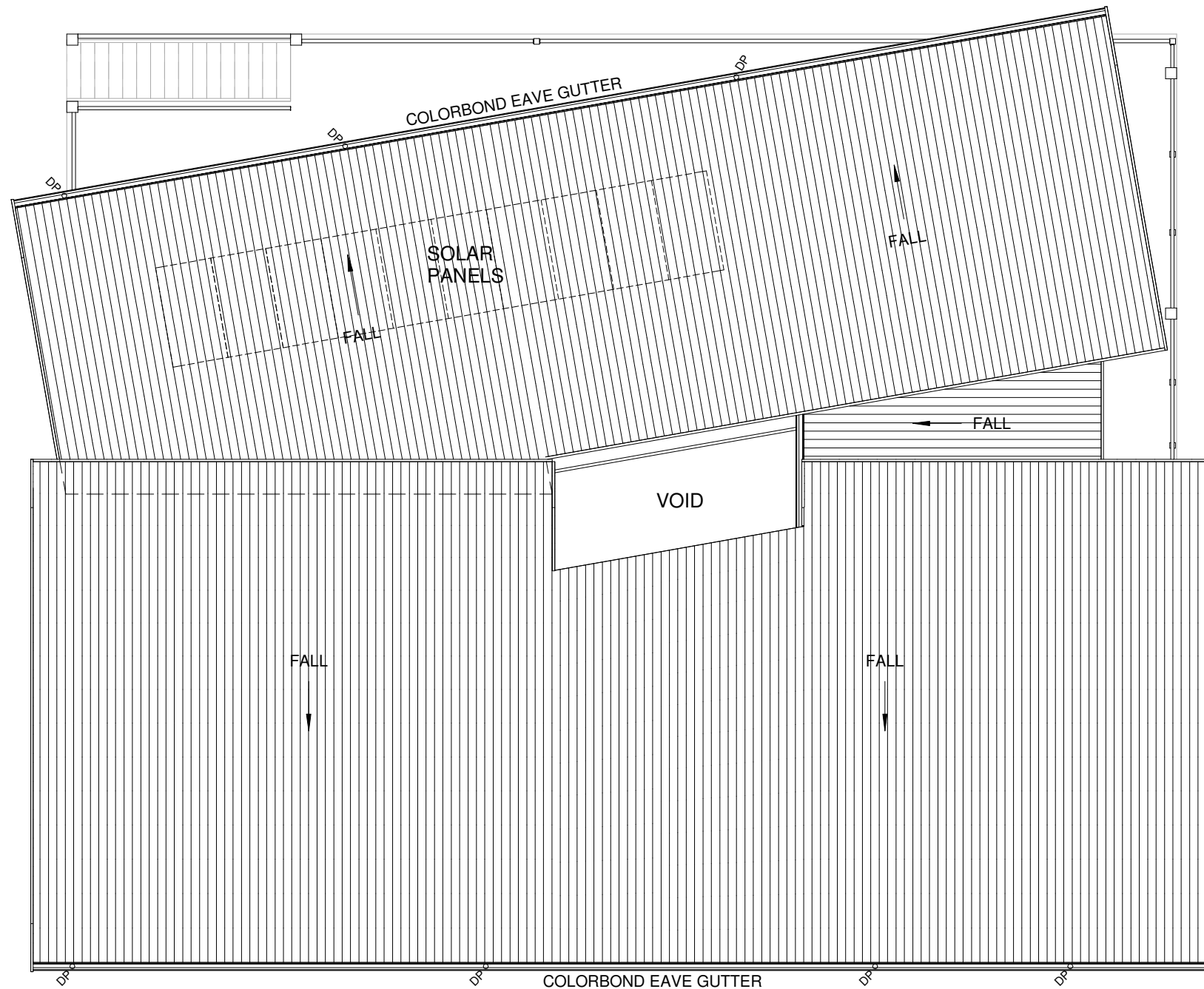
CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
Building Design & Drafting  
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Email: timberdesign@bigpond.com PH: 0418 123 976

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REF No: 20-044	ISSUE: DA-F



**PRELIMINARY ONLY**  
 SUBJECT TO COUNCIL APPROVAL



- MAXIMUM ROOF CATCHMENT AREA PER DOWN PIPE TO 50m2.
- MAXIMUM EAVE GUTTER LENGTH PER DOWNPIPE TO BE 10m.
- ALL EAVE GUTTERS TO BE COLORBOND ULTRA 125 QUAD GUTTER (MINIMUM CROSS SECTIONAL AREA OF GUTTER TO BE 7900mm2.) WITH FRONT FACE SLOTTED OVERFLOW.
- CONNECT ALL STORMWATER DRAINS & RAINWATER TANK OVERFLOW. TO LEGAL POINT OF DISCHARGE AS DIRECTED BY CVC)

**1** ROOF PLAN  
 1 : 100

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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TITLE:  
**ROOF PLAN**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
 PALMERS ISLAND  
 NSW, 2463  
 Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

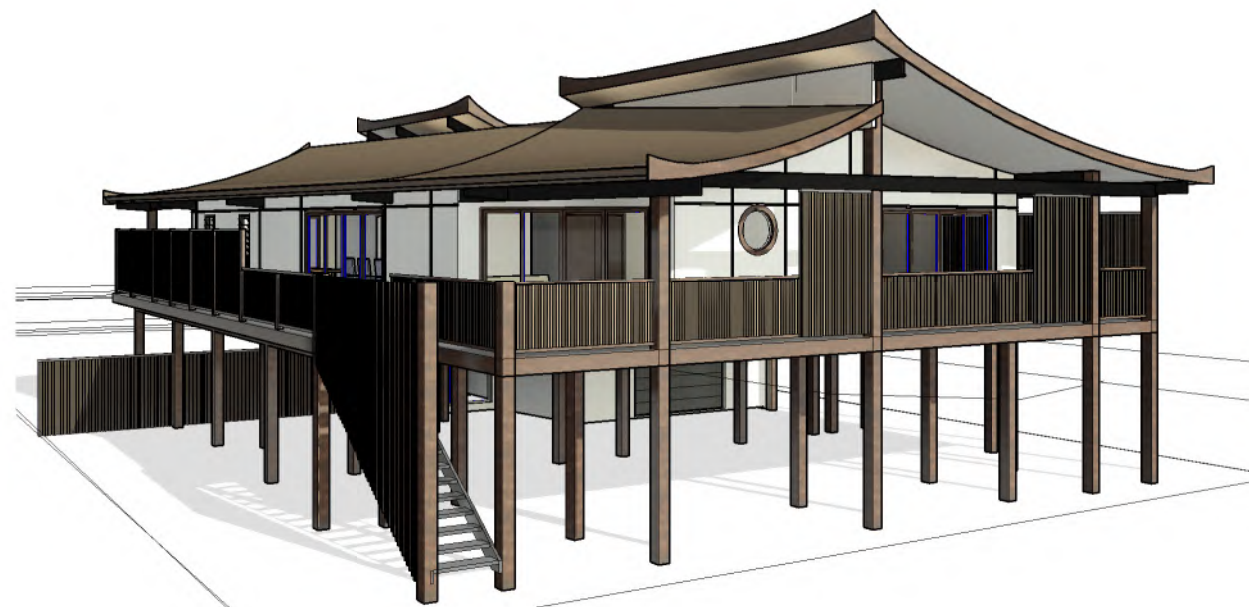
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 Email: timberrydesign@bigpond.com PH: 0418 123 976

DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A08
REF No: 20-044	ISSUE: DA-F

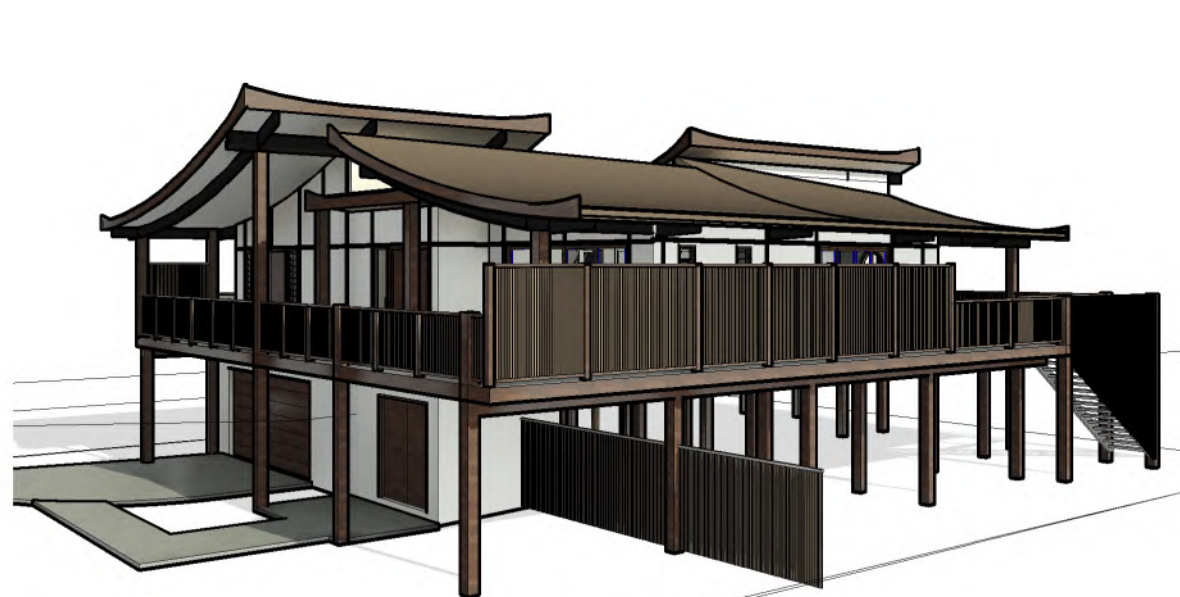
**PRELIMINARY ONLY**  
 SUBJECT TO COUNCIL APPROVAL



1 3D View 2



2 3D View 3



3 3D View 4



4 3D View 5

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
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TIM BERRY  
 REGISTERED BUILDING PRACTITIONER (VBA)  
 BUILDING DESIGN & DRAFTING  
 (ARCHITECTURAL) No: DP-AD 36211



**BUILDING DESIGNERS**  
 ASSOCIATION OF AUSTRALIA

FULL MEMBER  
 MEMBERSHIP NUMBER: 4826-20

TITLE:  
**3D VIEWS -1**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
 PALMERS ISLAND  
 NSW, 2463  
 Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

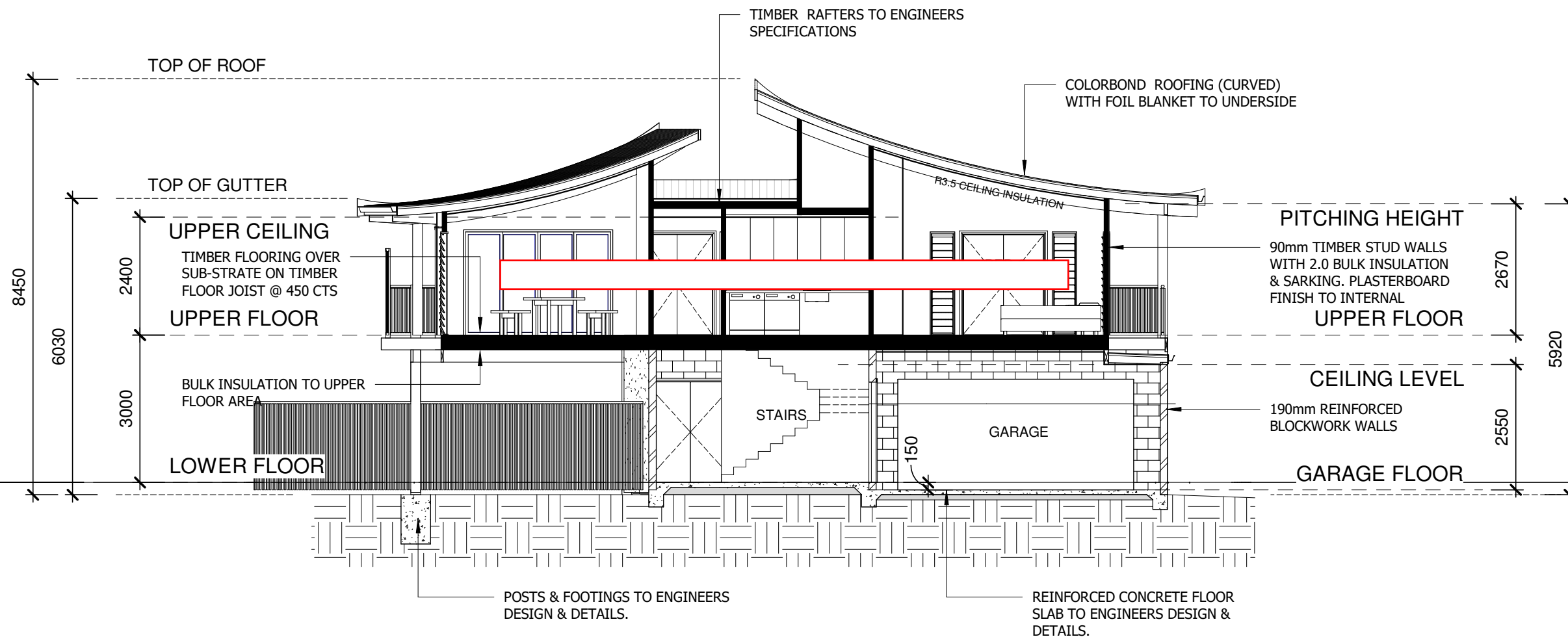
CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
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DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A09
REF No: 20-044	ISSUE: DA-F



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 SUBJECT TO COUNCIL APPROVAL



**1** SECTION A-A  
 1 : 100

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
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 (ARCHITECTURAL) No: DP-AD 36211

**BUILDING DESIGNERS**  
 ASSOCIATION OF AUSTRALIA

FULL MEMBER  
 MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SECTION A-A**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
 PALMERS ISLAND  
 NSW, 2463  
 Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
 Building Design & Drafting  
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DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A10
REF No: 20-044	ISSUE: DA-F



# 1 SHADOW DIAGRAM 10am

1 : 200

WINTER EQUINOX

PURVES STREET

EXISTING DRIVE WAY  
(Fce. 1.55 off)

PEG PLD.

PRIVATE OPEN SPACE  
22 SEC. 2 DP2107

BALCONY

Two Storey Clad Cottage

VERANDA

(Fce. 0.12 off)

WINDOW

WINDOW

WINDOW

W-B 3.47

No. 7

EXISTING X-OVER

Steel Post & Mesh Fence

Not Fenced

PEG PLD.

1.75

(Fce. 0.05 on)

1.67

1.68

43.585 (Deed)

TANK

1.67

No. 5 (SUBJECT SITE)

LOTS 20 & 21  
SECTION 2  
DP2107

PROPOSED DWELLING

1.6

1.57

1.67

(Fce. 0.15 on)

1.61

1.62

1.64

1.4

1.4

1.32

1.57

1.37

1.6

1.6

1.6

1.6

1.6

1.6

1.6

1.6

Top of Batter

Drainage Channel

WH  
PIT

20.095 By Survey (20.115 Deed)

PEG PLD.

EXISTING X-OVER

LOT 2 DP551613

EXISTING VEGI-GARDEN

EXISTING CLOTHS LINE

19 SEC. 2 DP2107

PRIVATE OPEN SPACE

18 SEC. 2 DP2107

STAIRS

BALCONY

WINDOW

CARPORT

SOLAR PANELS ON CARPORT ROOF

2-STOREY DWELLING

No. 3  
1852m<sup>2</sup>

DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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TIM BERRY  
REGISTERED BUILDING PRACTITIONER (VBA)  
BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211



**BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SHADOW DIAGRAM 10am**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
Building Design & Drafting

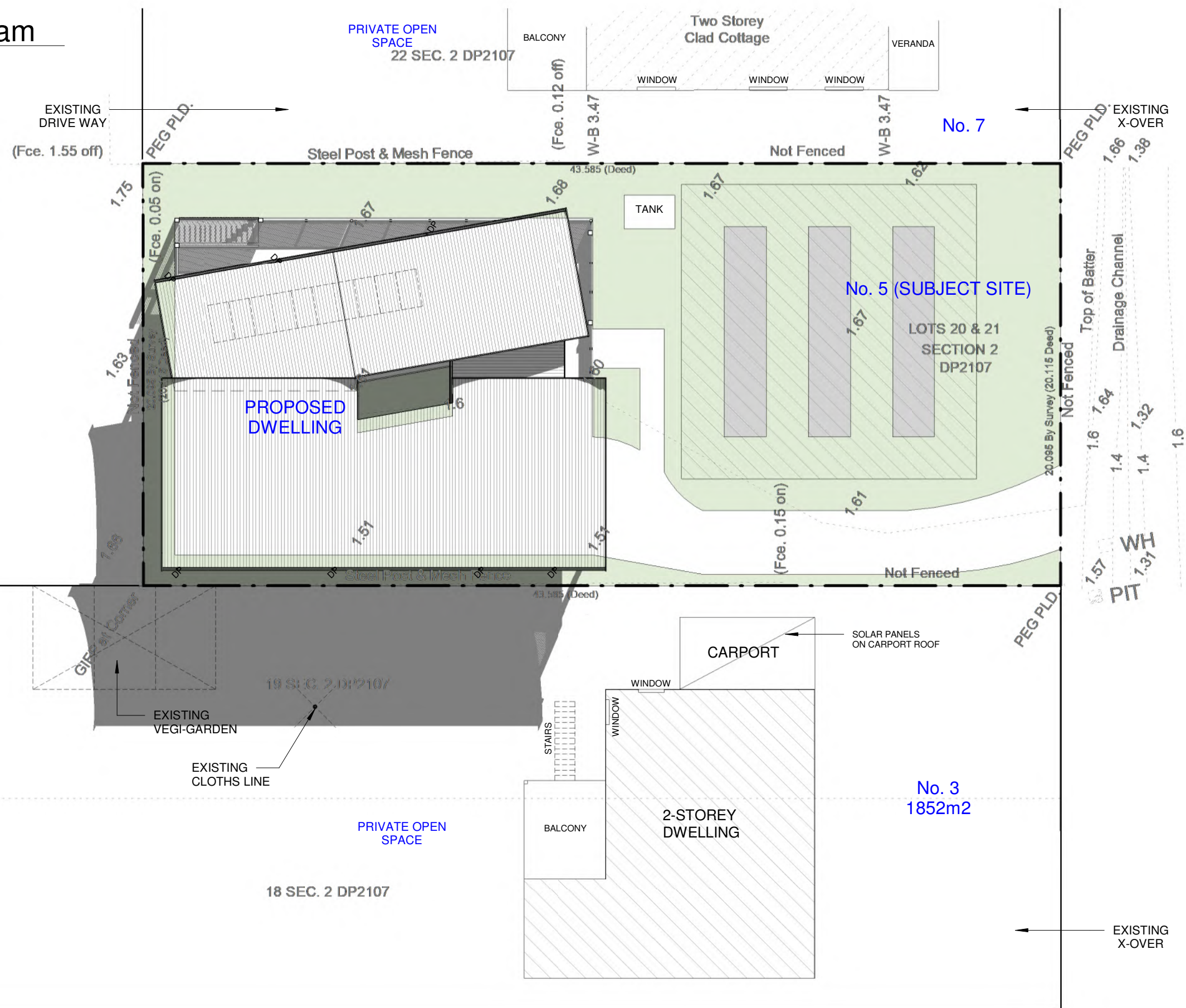
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Email: timberdesign@bigpond.com PH: 0418 123 976

DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A12
REF No: 20-044	ISSUE: DA-F



**1** SHADOW DIAGRAM 11am  
1 : 200  
WINTER EQUINOX

PURVES STREET



DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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TIM BERRY  
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BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211

**bdad**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SHADOW DIAGRAM 11am**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

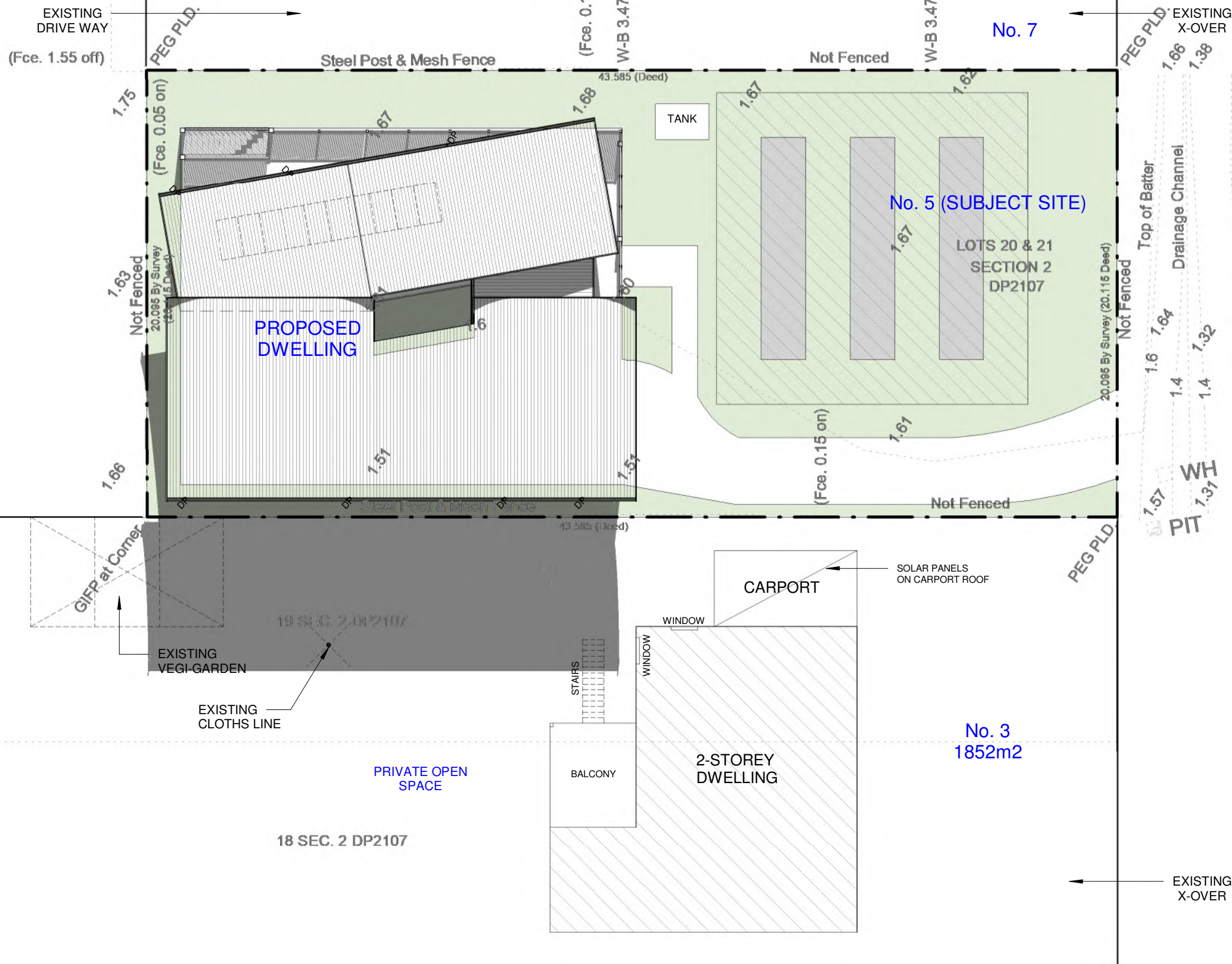
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Building Design & Drafting  
Office: 2a/19-21 Coldstream Street, Yamba, NSW, 2464  
Email: timberdesign@bigpond.com PH: 0418 123 976

DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A13
REF No: 20-044	ISSUE: DA-F



**1** SHADOW DIAGRAM 12pm  
1 : 200 WINTER EQUINOX

PURVES STREET



DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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TIM BERRY  
REGISTERED BUILDING PRACTITIONER (VBA)  
BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SHADOW DIAGRAM 12pm**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
Building Design & Drafting  
Office: 2a/19-21 Coldstream Street, Yamba, NSW, 2464  
Email: timberrydesign@bigpond.com PH: 0418 123 976

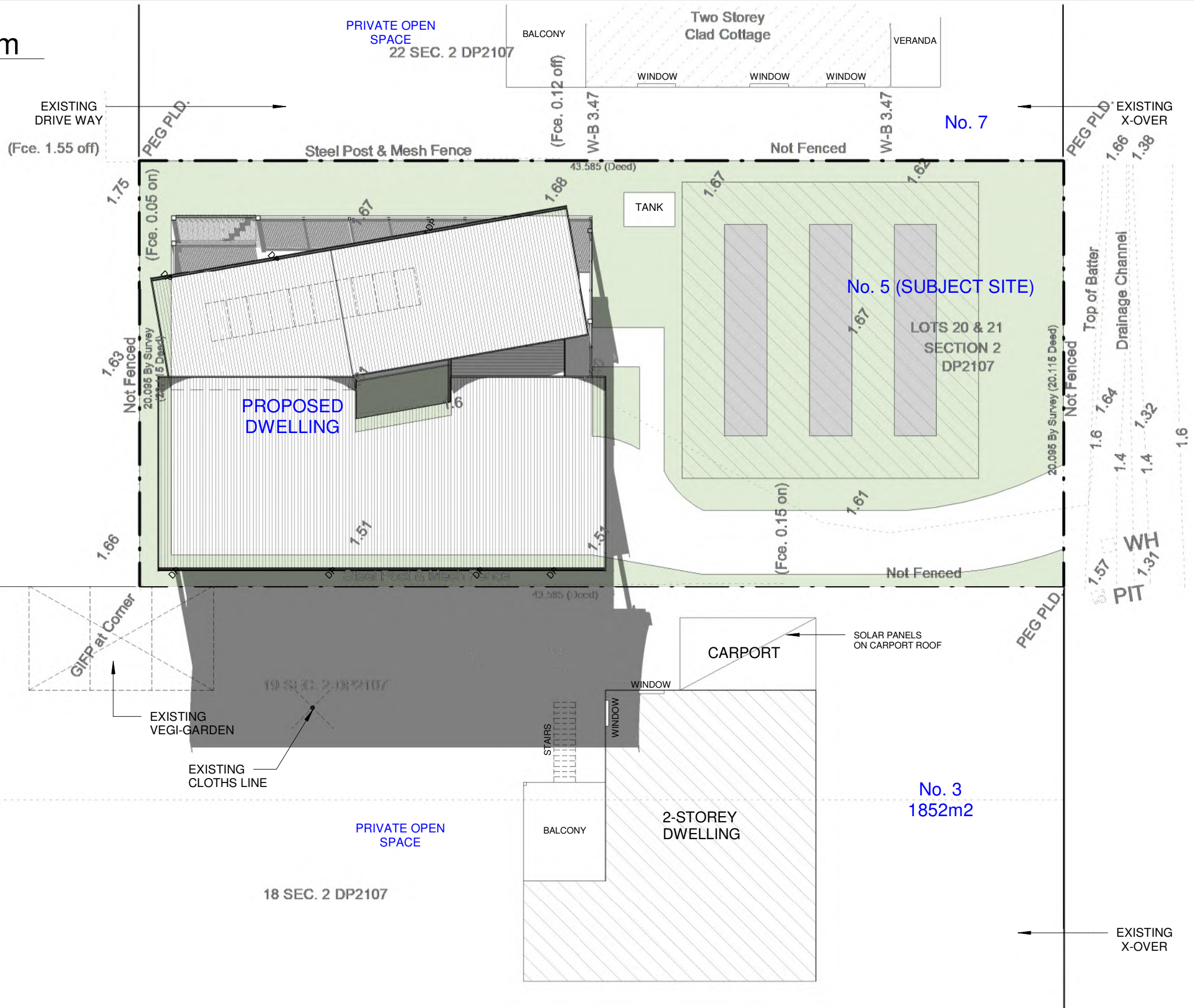
DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A14
REF No: 20-044	ISSUE: DA-F



# 1 SHADOW DIAGRAM 1pm

1 : 200 WINTER EQUINOX

PURVES STREET



DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
PD-A	PRELIMINARY DRAWINGS	15/1/21	TB
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BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211



**BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SHADOW DIAGRAM 1pm**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
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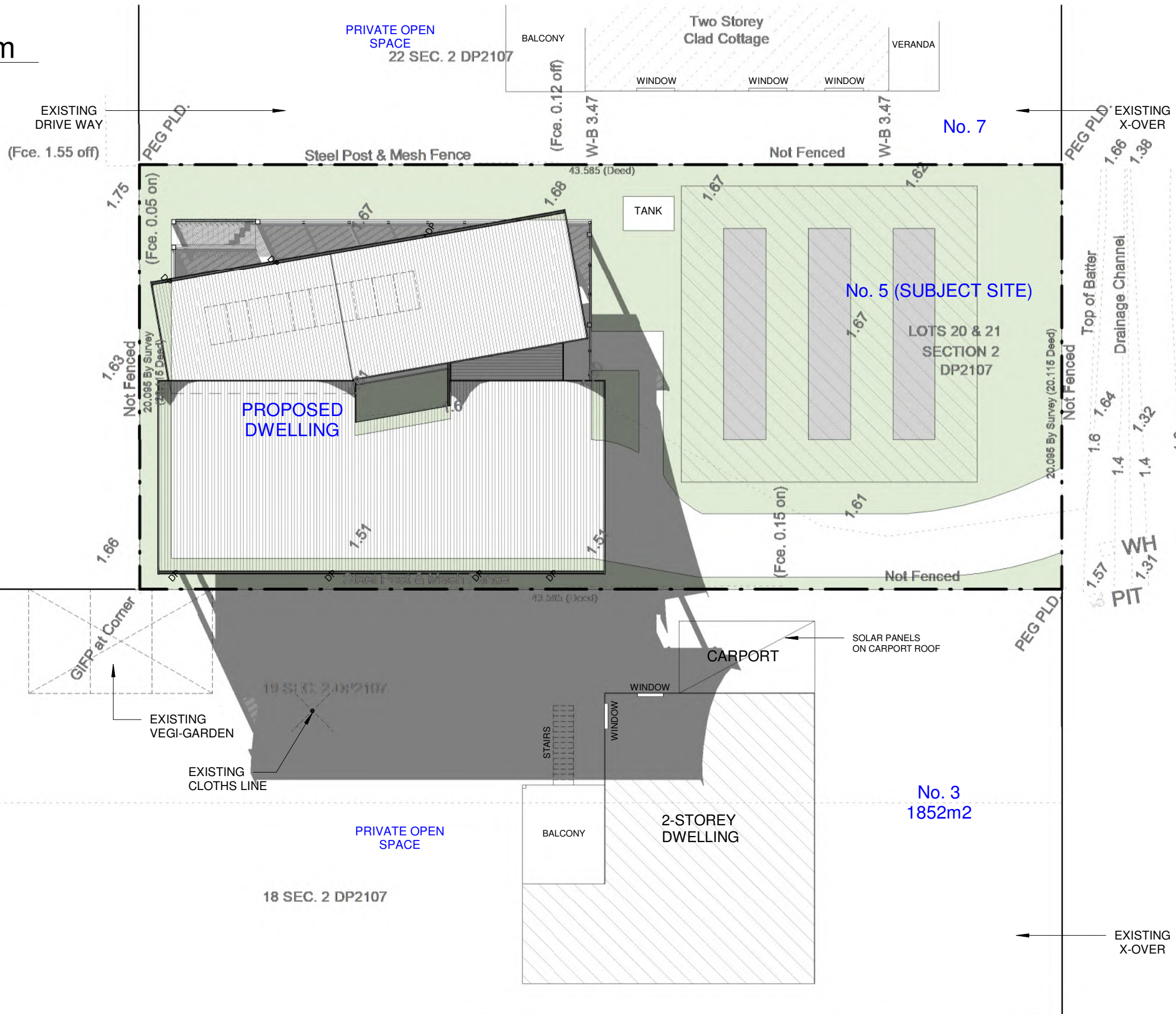
DESIGNED: TB	DRAWN: Designer
SHEET SIZE: A3	SHEET No: A15
REF No: 20-044	ISSUE: DA-F



# 1 SHADOW DIAGRAM 2pm

1 : 200 WINTER EQUINOX

PURVES STREET



DA-G	REVISED DA DRAWINGS	29/6/21	TB
DA-F	DA DRAWINGS	21/4/21	TB
PD-E	ROOF CHANGES	15/4/21	TB
PD-C	CLIENT CHANGES	3/3/21	TB
PD-B	REVISED PRELIMINARY	11/2/21	TB
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TIM BERRY  
REGISTERED BUILDING PRACTITIONER (VBA)  
BUILDING DESIGN & DRAFTING  
(ARCHITECTURAL) No: DP-AD 36211

**bdad**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

FULL MEMBER  
MEMBERSHIP NUMBER: 4826-20

TITLE:  
**SHADOW DIAGRAM 2pm**

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
**5 CARRINGTON STREET  
PALMERS ISLAND  
NSW, 2463  
Lot 20 & 21 Sec 2 DP2107**

COUNCIL:  
**CLARENCE VALLEY**

CLIENT:  
**G. MARSDEN**

**TIM BERRY**  
Building Design & Drafting

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Email: timberdesign@bigpond.com PH: 0418 123 976

DESIGNED: TB	DRAWN: TB
SHEET SIZE: A3	SHEET No: A16
REF No: 20-044	ISSUE: DA-F

**Schedule 1**  
**Draft Advices and Conditions of Consent for DA2021/0303**

## Advice:

1. No construction is to be commenced until a Construction Certificate has been issued.
2. Prior to building work commencing approval under Section 68 of the Local Government Act shall be obtained from Council for sewerage work, water plumbing and stormwater work.
3. The property is located in a part of Palmers Island Village that may be subject to riverbank erosion in the future. The applicant and future owners are advised to consider the requirements of Part T of the Clarence Valley Council Residential Development Control Plan and the conditions of this consent.

## Conditions:

1. The development being completed in conformity with the Environmental Planning & Assessment Act, 1979, the Regulations thereunder, the Building Code of Australia and being generally in accordance with the plans Ref 20-044, Issue DA-F, dated 29 June 2021, prepared by Tim Berry Building Design, seventeen (17) sheets, as amended in red, or where modified by any conditions of this consent.
2. The development is not to be occupied or used until such time as an Occupation Certificate has been issued.
3. **Working/Construction Hours** Working hours on construction or demolition shall be limited to the following:

**7.00 am to 6.00 pm Monday to Friday**

**8.00 am to 1.00 pm Saturdays**

**No work permitted on Sundays and public holidays**

The builder is responsible to instruct and control sub contractors regarding the hours of work and the requirements of the Protection of the Environment Operations Act 1997 and Regulations.

4. **Site Safety Management Building** equipment and/or materials shall be contained wholly within the site and shall not be stored or operated on the footpath or roadway, unless specific written approval has been obtained from Council beforehand.
5. **Toilet Facilities** - are to be provided on the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site. Each toilet provided must be:

A standard flushing toilet, connected to a public sewer, or  
 An approved temporary chemical closet.

The provision of toilet facilities in accordance with this condition must be completed before any other work is commenced.

6. Prior to commencement of works, a sign must be erected in a prominent position on any work site on which work is being carried out:
  - a Stating that unauthorised entry to the work site is prohibited, and
  - b Showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside of working hours, and
  - c Showing the name, address and telephone number of the principal certifier for the work, and

Any such sign is to be removed when the work has been completed.

7. Prior to the issue of an Occupation Certificate all requirements listed in the relevant Basix Certificate for this development shall be completed/installed.



8. All building construction below 3.42m Australian Height Datum (AHD) shall be of flood compatible materials.
9. The building shall comply with the Australian Building Codes Board Standard for Construction of Buildings in Flood Hazard Areas. A Structural Engineers certificate shall be submitted to the principal certifier prior to issue of the construction certificate to verify the building will withstand the likely forces imposed on it by a 1:100 year flood event including hydrostatic, hydrodynamic, debris, wave, erosion and scour actions.
10. All erosion and sediment control measures are to be installed and maintained in accordance with the Statement for Sediment and Erosion Control that was submitted with the development application.
11. No portion of the decks or subfloor area are to be further enclosed to form rooms without prior written approval being obtained from Council.
12. A vehicular crossing to provide access to the allotment as detailed on the approved plans is to be constructed in accordance with the requirements of Council's Operations Section and be fully completed prior to requesting a final inspection and the issue of an Occupation Certificate. An application for driveway access crossing is to be submitted and approved by Council prior to any work commencing.
13. Roof water, including overflow from a tank, is to be discharged into the most appropriate street gutter. Provide non breakable fittings where the stormwater pipe meets the kerb. Where the gutter is unformed, concrete protection is to be provided to the end of the pipe.
14. The waste management plan submitted with this application shall be complied with during demolition/construction work and all measures required for the ongoing use of waste management facilities in the development shall be in place prior to the issue of the Occupation Certificate.
15. The dwelling shall be designed and constructed so that it can be easily removed from the site by road vehicle, with the exception of the garage. The construction certificate plans shall include a detailed description of the removal process.
16. A certificate from a practising structural engineer shall be submitted with the construction certificate application to verify the dwelling has been designed to be easily dismantled and readily removed from the site by road vehicle.
17. No future works shall be carried out at the property which might hinder the ready relocation of the dwelling in the future. Such works might include the construction of walls, fences, screens, enclosures, landscaping or the fixing of joints or structural members by welding or other means.
18. Should the riverbank come within 18m of the dwelling at any future time the owner of the land will be responsible for the removal of any or all buildings from the site at the owner's expense, or where possible, to a location on the site further than 18 metres from the riverbank.
19. A restriction as to user shall be placed on the property title pursuant to the provision of section 88E of the Conveyancing Act 1919, stating: The property may be subject to riverbank erosion in the future. Should at any time the riverbank, as defined by Council, come to within 18 metres of any building associated with this development, the buildings shall then be removed by the owner of the land at the owner's expense. Written documentation to verify the restriction has been placed on the property title shall be submitted to Council prior to issue of the occupation certificate.
20. 5 Carrington Street consists of two allotments. As the dwelling and waste water disposal area will straddle the allotment boundary, Lots 20 and 21 Section 2 DP 2107 shall be consolidated into one allotment. Documentary evidence that the consolidation of lots is completed shall be submitted to Council prior to issue of the occupation certificate.